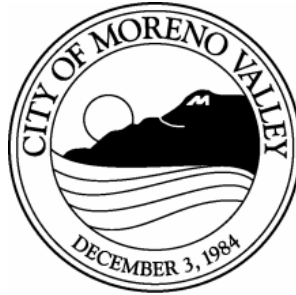

PLANNING COMMISSIONERS

JEFFREY BARNES
Chair

PATRICIA KORZEC
Vice-Chair

RAY L. BAKER
Commissioner



JEFFREY SIMS
Commissioner

ALVIN DEJOHNETTE
Commissioner

JOANN STEPHAN
Commissioner

ROBERT HARRIS
Commissioner

PLANNING COMMISSION

Regular Meeting

Agenda

Thursday, February 14, 2019 at 7:00 PM
City Hall Council Chamber – 14177 Frederick Street

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

APPROVAL OF AGENDA

CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine and all will be enacted by one roll call vote. There will be no discussion of these items unless Members of the Planning Commission request specific items be removed from the Consent Calendar for separate action.

1. APPROVAL OF MINUTES

Planning Commission – Regular Meeting – January 24, 2019 7:00 PM

PUBLIC COMMENTS PROCEDURE

Any person wishing to address the Commission on any matter, either under the Public Comments section of the Agenda or scheduled items or public hearings, must fill out a "Request to Speak" form available at the door. The completed form must be submitted to the Secretary prior to the Agenda item being called by the Chairperson. In speaking to the Commission, member of the public may be limited to three minutes per person, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the Staff, or the audience.

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 72 hours before the meeting. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NON-PUBLIC HEARING ITEMS

- 1. Case: PEN19-0002
- Applicant: City of Moreno Valley
- Owner: City of Moreno Valley
- Representative: Community Development Department
- Location: Citywide
- Case Planner: Claudia Manrique
- Council District: All
- Proposal: 2018 General Plan Annual Progress Report

PUBLIC HEARING ITEMS

- 1. Case: PEN16-0066
- Applicant: Joel Mendez
- Owner: Joel Mendez
- Representative: Andy Wang
- Location: 24298 Webster Avenue, north side between Heacock Street and Indian Street.
- Case Planner: Julia Descoteaux
- Council District: 1
- Proposal: Plot Plan for a 20-unit senior apartment complex on .9 acres located on the north side of Webster Avenue west of Indian Street.

OTHER COMMISSION BUSINESS

STAFF COMMENTS

PLANNING COMMISSIONER COMMENTS

ADJOURNMENT

Planning Commission Regular Meeting, February 28, 2019 at 7:00 P.M., City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553.

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 7:00 PM
January 24, 2019**

CALL TO ORDER

ROLL CALL

Planning Commission:	Jeffrey Barnes	Chair	Present
	Patricia Korzec	Vice-Chair	Present
	Robert Harris	Commissioner	Present
	JoAnn Stephan	Commissioner	Present
	Jeffrey Sims	Commissioner	Absent
	Ray L. Baker	Commissioner	Present
	Alvin Dejohnette	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Robert Harris.

APPROVAL OF AGENDA

Motion to approve the agenda was made by Commissioner Baker and seconded by Commissioner Harris.

Vote: 6-0
Ayes: Vice-Chair Korzec, Commissioner Harris, Stephan, Baker, Chair Barnes and Commissioner Dejohnette.
Absent: Commissioner Sims
Action: **Approved**

STAFF PRESENT

Paul Early	City Attorney
Patty Nevins	Planning Official
Chris Ormsby	Senior Planner
Claudia Manrique	Associate Planner
Jeff Bradshaw	Associate Planner
Michael Lloyd	Assistant City Engineer
Adria Reinertson	Fire Marshal
Eric Lewis	City Traffic Engineer
Ashley Aparicio	Planning Commission Secretary

Minutes Acceptance: Minutes of Jan 24, 2019 7:00 PM (APPROVAL OF MINUTES)

CONSENT CALENDAR

APPROVAL OF MINUTES

Planning Commission - Regular Meeting - January 10, 2019 7:00 PM

Motion to approve the minutes of January 10, 2019 was made by Vice-Chair Korzec and seconded by Commissioner Baker.

Vote: 6-0
Ayes: Vice-Chair Korzec, Commissioner Harris, Stephan, Baker, Chair Barnes and Commissioner Dejohnette.
Absent: Commissioner Sims
Action: **Approved**

PUBLIC COMMENTS PROCEDURE

Rafael Bruqueras

Rafael Bruqueras stated that he would like to talk about the future for our young adults, between kindergarten and fifth graders. As Moreno Valley Unified School District is asking us for a request of theirs, I wrote down five things because it is very important to know that Moreno Valley is trying to accommodate many things and we are doing pretty well. Here are my five things.

1. Zone Change; everyone needs help, whether it is the school board or developers when it comes in front of the Commission.
2. In the future, we will have the Nason Corridor project. The school will be a great addition to that area. I went and saw phase II and how it will bring even more people to the area.
3. MV Elementary School on Cottonwood, in between Nason and Morrison. It currently holds 530 students, so think about how much Moreno Valley's District 3 has grown within the last several years. It cannot hold any more kids in that school so they have to go to other schools away from their community.
4. Moreno Valley is growing. We have many families moving to the City and with them, they bring their children who go to school from kindergarten to fifth grade.
5. The good thing about this project is that they are looking to put a two-story building and get away from the trailers so the kids could be all in one building rather than being scattered throughout the property.

Minutes Acceptance: Minutes of Jan 24, 2019 7:00 PM (APPROVAL OF MINUTES)

NON-PUBLIC HEARING ITEMS

1. Request from the Moreno Valley Unified School District for land use verification of a potential new elementary school site and that it conforms to the Moreno Valley General Plan. (Report of: Planning Commission)
 - A. Staff recommends that the Planning Commission consider the location, purpose, and extent of a proposed real property acquisition by the Moreno Valley Unified School District ("District") and make a determination as to the conformity of the proposed acquisition with the Moreno Valley General Plan.

Motion to determine that the proposed acquisition conforms with the Moreno Valley General Plan was made by Vice-Chair Korzec and seconded by Commissioner Baker.

Vote: 6-0
Ayes: Vice-Chair Korzec, Commissioner Harris, Stephan, Baker, Chair Barnes and Commissioner Dejohnette.
Absent: Commissioner Sims
Action: **Approved**

PUBLIC HEARING ITEMS

1. The proposal includes a General Plan Amendment, Specific Plan Amendment, Change of Zone, a Plot Plan for 112 residential units, and a Tentative Parcel Map 37514 on 11.63 acres, located at the northeast corner of Krameria Avenue and Lasselle Street (Report of: Planning Commission)
 - A. Staff recommends that the Planning Commission **APPROVE** Resolution No. 2019-03, and thereby **RECOMMEND** that the City Council:
 1. CERTIFY the Addendum prepared for General Plan Amendment PEN18-0119, Specific Plan Amendment PEN18-0120, Zone Change PEN18-0121, Parcel Map PEN18-0090 and Plot Plan PEN18-0107 on file with the Community Development Department, incorporated herein by this reference, has been completed in compliance with the California Environmental Quality Act, that the Planning Commission reviewed and considered the information contained in the Addendum and that the document reflects the City's independent judgment and analysis; attached hereto as Exhibit A; and
 2. APPROVE the Mitigation Monitoring Program prepared for Parcel Map PEN18-0090 and Plot Plan PEN18-0107, attached hereto as Exhibit B.
 - B. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-04, and thereby RECOMMEND that the City Council:

1. APPROVE General Plan Amendment application PEN18-0119 based on the findings contained in this resolution, and as shown on the attachment included as Exhibit A.
- C. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-05, and thereby RECOMMEND that the City Council:
1. APPROVE Specific Plan Amendment application PEN18-0120 based on the findings contained in this resolution, and as shown on the attachment included as Exhibit A.
- D. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-06, and thereby RECOMMEND that the City Council:
1. APPROVE Zone Change application PEN18-0121 based on the findings contained in this resolution, and as shown on the attachment included as Exhibit A.
- E. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-07, and thereby RECOMMEND that the City Council:
1. APPROVE Plot Plan application PEN18-0107 based on the findings contained in this resolution, and subject to the conditions of approval included as Exhibit A.
- F. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-08, and thereby RECOMMEND that the City Council:
1. **APPROVE** Parcel Map application PEN18-0090 based on the findings contained in this resolution, and subject to the conditions of approval included as Exhibit A.

Public Hearing Opened: 7:41 p.m.

Public Comments

Ms. Smith supports the item.
Rafael Brugueras supports the item.
Eddy Sone opposes item.

Public Hearing Closed: 7:53 p.m.

Motion to approve Resolution Numbers 2019-03, 2019-04, 2019-05, 2019-06, 2019-07 and 2019-08 was made by Vice-Chair Korzec and seconded by Commissioner JoAnn Stephan.

Vote: 6-0
Ayes: Vice-Chair Korzec, Commissioner Harris, Stephan, Baker, Chair Barnes and Commissioner Dejohnette.
Absent: Commissioner Sims
Action: **Approved**

OTHER COMMISSION BUSINESS

No Items for Discussion

STAFF COMMENTS

Paul Early, City Attorney, stated he was asked to prepare the Commissioners for upcoming cannabis applications within the City.

He stated that the Commission might be aware that the Council has approved a certain number of permits and that there have been changes to our zoning code and our regulatory code which allows for these businesses, as long as they have been licensed by the state. The final piece of that puzzle for the applicants is to bring their specific individual projects to this Commission for consideration of their Conditional Use Permits. A Conditional Use Permit is required for each one of these uses.

Mr. Early indicated that it is anticipated that the applications are going to be coming to the Commission a couple at a time throughout this year and that they may be seeing a number of them. He suggested that if Commissioners have any questions and or concerns about this process, they could reach out to him at any time. He also noted that the determination to allow cannabis to be considered has already been made, and that future application decisions would be confined to determining compliance based on our code. He added that if there are any questions about the scope of their authority Commissioners should please contact him.

Commissioner Stephen asks if there are guidelines in place.

Mr. Early stated that each application will be different and unique based on their conditions and location. He advised that his biggest warning would be that they not be placed in a position where a Conditional Use Permit is denied because of a desire not to have cannabis. The Commission still has the same authority as with other Conditional Use Permits and should treat this like any other Conditional Use Permit; if the Commission is satisfied that all of the requirements of our code are met and that all conditions and land use issues have been addressed, then we should not be arbitrary by denying them.

He noted that this Commission had strong feelings about the subject matter so this is why he wanted to bring this before the applications started coming to them, adding that his door is open if there are any specific concerns. If there are regulatory issues such as the parcel design and the things that the Commission already has the scope and authority over, those are still all fair game in these coming hearings.

Chair Barnes asks if this was for the approval of the dispensaries.

Mr. Early stated that the Council had identified that dispensaries are allowed, as well as other types of uses including manufacturing, distribution, testing and that different types of uses have different impacts.

Commissioner Stephen asks if they can do a change of zone?

Mr. Early stated that a change of zone can always be applied for, and would come before this Commission. The ones that we are talking about have already gone through the process of identification of a location within the zone that was approved for these uses. The ones you see will not have general plan amendments, zone changes, or proximity to sensitive uses. The Commission will be dealing mostly with design, parcel map, etc.

Chair Barnes asks if there are any additional comments.

Patty Nevins, Planning Official stated she has two items tonight. For the first item, I wanted to thank the community for coming out on Saturday, January 12, 2019, for the Nason Corridor Study Community meeting for their input. There was a wonderful turnout despite the rain and she just wanted to say thank you. The second item was to advise that the Planning Commission does have three Planning Commissioner Terms Expiring on March 31st of this year. Both sitting Commissioners and other qualified residents can apply for these positions. In accordance with the city's operating policy for Boards, Commissions and Committees, all applicants, including incumbents, need to complete the standard application form. Interested persons could contact Angel Migao, the Executive Assistant to the Mayor and City Council, for an application. There is no set date for considerations of these applications, so she encouraged anyone looking to apply to do so as soon as early possible.

PLANNING COMMISSIONER COMMENTS

Chair Barnes asks which Commissioner terms are is expiring.

Patty Nevins stated that the terms of Chair Barnes, Vice-Chair Korzec and Commissioner Sims terms are expiring on March 31st.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairman Barnes adjourned the meeting at 8:08 PM.

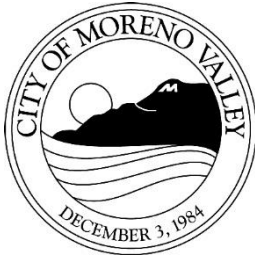
Submitted by:

Approved by:

Ashley Aparicio
Planning Commission Secretary

Jeffrey Barnes
Chair

Minutes Acceptance: Minutes of Jan 24, 2019 7:00 PM (APPROVAL OF MINUTES)



PLANNING COMMISSION

STAFF REPORT

Meeting Date: February 14, 2019

2018 GENERAL PLAN ANNUAL PROGRESS REPORT

Case: PEN19-0002

Applicant: City of Moreno Valley

Owner: City of Moreno Valley

Representative: Community Development Department

Location: Citywide

Case Planner: Claudia Manrique

Council District: All

SUMMARY

Government Code Section 65400 requires that cities submit an annual report on the status of their General Plan and progress on its implementation to the Governor's Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD). Prior to submittal to the state, the annual report must be presented to the City Council for review and acceptance. As a procedural matter, staff is bringing the annual report to the Planning Commission for review and recommendation to the City Council prior to the City Council consideration given the Commission's advisory role to the City Council in planning matters, including implementation of the General Plan.

BACKGROUND

California State Law requires each city to adopt a comprehensive, long-term general plan for its physical development including consideration of any land located outside its boundaries, which bears a relationship to its planning activities. In essence, the City's

general plan serves as the blueprint for future growth and development. As a blueprint for the future, the plan contains goals, objectives, policies and programs designed to provide decision makers with information and a basis for all land use related decisions.

The City of Moreno Valley incorporated on December 3, 1984. The City's first General Plan was adopted on September 8, 1988. The last comprehensive update of the General Plan was approved by the City Council on July 11, 2006. The last update of the Housing Element of the General Plan was approved by the City Council on February 11, 2014.

The existing General Plan incorporates all required elements as follows, with dates of the last respective Element update noted:

- Circulation Element (2006)
- Community Development Element (2006)
- Conservation Element (2006)
- Housing Element (2014)
- Parks, Recreation and Open Space Element (2006)
- Safety/Noise Element (2006)

The Housing Element is the only mandatory Element of the General Plan that must be updated on a set schedule. The last update to the city's Housing Element was completed in February 2014 and HCD provided the City with certification of the document on May 19, 2014. With the 2014 certification from HCD, the City qualified to be on the eight-year update cycle, the next required update of the Housing Element is in year 2021.

Aside from the Housing Element, state law recommends that local governments update their other general plan elements "periodically" but does not specify how often. Consistent with prudent planning practices and in light of changing local, regional, and market influences, other elements of the General Plan should be updated from time to time to ensure the policies and goals reflect desired vision for the city, are considerate of pertinent changes in planning laws and environmental regulations, and do not become stale with respect to implementation. The last comprehensive update of the City General Plan was completed in year 2006.

As outlined in the City's adopted strategic plan Momentum Moval the city initiated efforts to develop the scope of work, schedule and budget for a comprehensive General Plan update in year 2017. At that time plans were to launch implementation of the work plan in early 2018. That effort was put on hold in early 2018 to allow for some additional internal vetting of the scope of work. The implementation phase is now expected to resume in the first quarter of 2019. The comprehensive update will touch on all required Elements and includes consideration for three additional elements (Economic Development, Healthy Community, and Environmental Justice) along with compliance with any other applicable legislative mandates.

ANNUAL REPORT CONTENTS

The 2018 General Plan Annual Progress Report (Attachment 1) summarizes the City of Moreno Valley's progress towards implementing the goals, policies and programs of the City's 2006 General Plan. It covers the period of January 1, 2018 through December 31, 2018.

The General Plan Annual Report includes a report of major projects and General Plan amendments approved by the Planning Commission and City Council in 2018. In summary, four (4) major projects and five (5) General Plan Amendments were approved during this annual reporting period.

General Plan Amendments

Two (2) of the General Plan Amendments were residential projects. The first was for an area known as the Moreno Valley Ranch Specific Plan 193. With the project the Specific Plan was amended (PEN16-0128) along with an amendment to the land use element of the General Plan (project #PEN16-0127) to convert approximately 22 acres of Open Space/Golf Course (GC) designated property to residential land use with a density range up to approximately 20 dwelling units to the acre. The amendments were processed concurrent with a Plot Plan to build a 417 unit multiple-family apartment complex on the 22 acres. A second general plan amendment affecting residential land use changed 8.856 acres of previously designated Residential 3 (R3) land to Residential 10 (R10). The change effectively increased the potential development intensity of the land from large lot single-family dwelling units up to three units to the acre to small lot single family residential up to ten dwelling units to the acre. Tentative Tract Map 37544 (PEN18-0092) was approved concurrently for 45 single-family lots. Both of these projects are consistent with established General Plan Goals and Objectives 9.2.1 and 9.2.2, which promote the rational utilization of presently underdeveloped and undeveloped parcels and providing a wide range of residential opportunities and dwelling types to meet the demands of present and future residents of all socioeconomic groups.

A General Plan Amendment (PEN16-0013) was processed to modify portions of the Festival Specific project site north of State Route 60 and east of Heacock from commercial (C) and office (O) land use designations to business park (BP). General Plan Amendment (PEN18-0024) also involved an amendment of land previously designated for office (O) land use located at the northeast corner of Frederick and Brodiaea to business park (BP). Both of these amendments were processed in response to market demands for broader opportunities for industrial land uses that may provide a sound and diversified economic base and ample employment opportunities for the citizens of Moreno Valley. Finally project #PEN16-0048 involved a land use designation change from Residential 2 (R2) to Office (O) on vacant land along the east side of Nason Street south of Brodiaea. The amendment will enable development of a new medical office complex that is supportive and compatible with land uses at the neighboring Riverside University Health System - Medical Center (RUHS-MC) and creates opportunity for more diversified professional employment opportunities.

Housing

HCD requires the reporting of Housing Element implementation on specific State reporting forms, which were updated on January 16, 2019. The method of reporting of Housing Element implementation is established by HCD with the purpose of tracking overall housing production in a community, as well as, more specifically, a City's progress towards meeting its Regional Housing Needs Allocation (RHNA). The City's Housing Element Implementation Progress Report is included as Appendix A to the General Plan Annual Report (Attachment 1).

In summary, 434 new residential units were finalized in 2018, including ten (10) apartment units, 423 single-family residences, and one accessory dwelling unit. All ten apartments fall into the Moderate Income Level Housing (≥ 8 units) category, and all of the single-family residences fall into the Above Moderate Income Level Housing (1-5 units) category. The City's progress in meeting its Year 2014-2021 RHNA goals is summarized in the table below.

Housing Unit Construction in Relation to RHNA				
<i>Income Level</i>	<i>2014-2021 RHNA (# units)</i>	<i>2017 Annual Report Remaining RHNA Need</i>	<i>New Units 2018</i>	<i>2018 Remaining RHNA Need</i>
Very Low	1500	1500	0	1500
Low	993	993	0	993
Moderate	1112	1020	10	1010
Above- Moderate	2564	1906	424	1484
Total	6,169	5,548	434	4,987

ENVIRONMENTAL

The General Plan Annual Report qualifies for the general rule exemption in accordance with Section 15061(b)3 of the California Environmental Quality Act (CEQA) Guidelines.

NOTIFICATION

No public notification other than accomplished with routine posting of the meeting agenda is required for this Planning Commission item.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2019-10, and thereby:

1. **CERTIFY** that the General Plan Annual Report qualifies for the general rule exemption in accordance with Section 15061(b)3 of the California Environmental Quality Act (CEQA) Guidelines; and

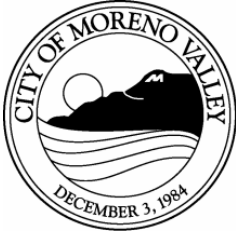
2. **RECOMMENDS** to the City Council that the January 2018 to December 2018 General Plan Annual Report is consistent with the requirements of Government Code Section 65400 and is ready for submittal to the Office of Planning and Research and to the Department of Housing and Community Development by April 1, 2019.

Prepared by:
Claudia Manrique
Associate Planner

Approved by:
Patty Nevins
Planning Official

ATTACHMENTS

1. 2018 General Plan Annual Report
2. Appendix A - Housing Element Implementation Progress Report
3. Appendix B - Annual Report GP Goals-Policies
4. Resolution 2019-10



CITY OF MORENO VALLEY
Community Development Department
Planning Division

GENERAL PLAN ANNUAL REPORT

JANUARY 1, 2018 – DECEMBER 31, 2018

Attachment: 2018 General Plan Annual Report [Revision 1] (3395 : 2018 General Plan Annual Progress Report)

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GENERAL PLAN IMPLEMENTATION.....10

ATTACHMENTS

1. (APPENDIX A) HOUSING PROGRAM STATUS REPORT
2. (APPENDIX B) GENERAL PLAN GOALS, OBJECTIVES, POLICIES AND PROGRAMS

ACKNOWLEDGEMENTS

CITY COUNCIL (Elected)

Dr. Yxstian A. Gutierrez, Mayor
Victoria Baca, Mayor Pro-Tem
Dr. Carla Thornton
David Marquez
Ulises Cabrera

DISTRICT
CITYWIDE MAYOR
1
2
3
4

TERM EXPIRES
November 2022
November 2020
November 2022
November 2020
November 2022

PLANNING COMMISSION (Appointed)

Jeffrey Barnes, Chairperson
Patricia Korzec, Vice Chairperson
Alvin DeJohnette
Ray L. Baker
Jeffrey D. Sims
Robert Harris
JoAnn Stephan

TERM EXPIRES
March 31, 2019
March 31, 2019
March 31, 2021
March 31, 2021
March 31, 2019
March 31, 2021
March 31, 2021

CITY MANAGER

Thomas DeSantis

ASSISTANT CITY MANAGER

Allen D. Brock

COMMUNITY DEVELOPMENT DEPARTMENT

Richard Sandzimier, Community Development Director

Planning Division

Patty Nevins, Planning Official
Chris Ormsby, AICP Senior Planner
Claudia Manrique, Associate Planner
Gabriel Diaz, Associate Planner
Jeffrey Bradshaw, Associate Planner
Julia Descoteaux, Associate Planner
Leticia Esquivel, Senior Permit Technician
Grace Espino-Salcedo, Permit Technician
Summer Looy, Permit Technician
Vera Sanchez, Senior Administrative Assistant
Ashley Aparicio, Administrative Assistant

ANNUAL REPORT SUMMARY

BACKGROUND

On December 3, 1984, the City of Moreno Valley was incorporated as a general law city led by a City Council-Manager form of government. Prior to incorporation, the City of Moreno Valley consisted of 42 square miles and a population of 49,702 people. As of December 2018, the City includes 51.56 square miles with a population of 209,826 people.

The City adopted its first General Plan in 1988. The General Plan was comprehensively amended and updated on July 11, 2006. The current General Plan recognizes the community's diverse population, distinct residential neighborhoods, neighborhood and regional commercial activities, industrial potential and recreational amenities.

This document constitutes an annual report to the Planning Commission and City Council as required by state law on the updates of programs and policies in the General Plan. The document includes major projects, General Plan amendments, a status report of goal objectives, policies and programs of the current General Plan, and a Housing Program Status Report. This Annual Report includes projects and information from January 1, 2018 through and up to December 31, 2018.

The following is a summary of the current adoption status of the different required elements of the General Plan:

- Circulation Element (2006)
- Community Development Element (2006)
- Conservation Element (2006)
- Housing Element (2014)
- Parks, Recreation and Open Space Element (2006)
- Safety and Noise Element (2006)

ANALYSIS

Government Code Section 65400

California Governments Code Section 65400 requires that prior to submittal to the Office of Planning & Research and Department of Housing and Community Development, the annual report be made to the legislative body of the submitting jurisdiction on the status of the General Plan and progress towards its implementation, including activity towards its share of regional housing needs. State law requires the following:

- A) A General Plan Annual Report shall be provided by April of each year to the City Council, the Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD); and

- B) A status of the General Plan and progress in its implementation shall be provided in the General Plan Annual Report; and
- C) Progress in meeting its share of the regional housing needs pursuant to Section 65584 of the Government Code shall be provided in the General Plan Annual Report.

Annual Review and Housing Program Summary Report

Pursuant to State Law, the Annual Report and Review of the City of Moreno Valley General Plan reports the progress in implementing the General Plan to the City Council. The City of Moreno Valley's Annual Report includes the following items:

1. A list of Major Accomplishments from January 2018 through December 2018
2. A list of General Plan Amendments from January 2018 through December 2018
3. Appendix A - Housing Element Implementation Progress Report includes the City's progress made in meeting its share of regional housing needs pursuant to State Government Code Section 65584.
4. Appendix B – Moreno Valley General Plan Complete List of Goals and Policies, which provides a status report of the 2006 General Plan goals, policies, objectives and programs towards implementing the City's blueprint for land use development.

Moreno Valley General Plan – Goals, Objectives, Policies and Programs

Appendix B evaluates the 2006 General Plan goals and policies in a comprehensive document providing the goal/policy number, a description of each goal and policy, a discussion on implementation status and the party responsible for carrying out each item.

- A goal is defined as a broad vision of what the community wants to achieve or provide to residents, landowners and business owners. It is a statement of a desired condition based on community values. Goals are general in nature and usually timeless.
- A policy is a specific statement that guides decision-making. It indicates a commitment of the City to a particular course of action. A policy is based on and assists to implement the goal.

The General Plan Annual Report also includes objectives leading up to the goal/policy as well as an update on existing programs.

General Plan Update

The State Office of Planning and Research (OPR) recommends that cities update their General Plan every ten (10) years. The City of Moreno Valley last completed an update to its General Plan on July 11, 2006, and is preparing for a comprehensive General Plan update

in the next two to three years. The General Plan update is an extensive process that includes various public meetings involving City staff, commissions and extensive community outreach. The current update is subject to extensive public outreach and several public hearings before the Planning Commission and City Council. The cost and work involved with the update can be extensive.

Momentum MoVal, the City of Moreno Valley's Strategic Plan, represents the results of active engagement by Moreno Valley residents and the City Council in charting the community's course into the future. Adopted on August 16, 2016, the document provides a course of action for the City's next comprehensive General Plan update. This includes Objective 1.9 to "Ensure the City's General Plan articulates the vision of how Moreno Valley wants to evolve over time, and provides an orderly and predictable process through which this vision is developed and implemented, including new attention to economic development, sustainability, public health, and innovation".

Four (4) initiatives have been adopted with this effort to assist in preparing for and completing the comprehensive General Plan Update. This includes two (2) initiatives related to the completion of the General Plan Annual Report. Initiative 1.9.1 required the preparation of a General Plan Annual Report to the City Council before April 1, 2017 that explains how current land use decisions relate to adopted goals, policies and other implementation measures, and as appropriate, identifies necessary course adjustments consistent with the Strategic Plan. This effort was completed in March of 2017 and serves as the continued course of action to ensure the City actions are consistent with Government Code 65400. Initiative 1.9.2 called for the formation of a working group of key City staff to research and evaluate the General Plan adopted in 2006 as a prerequisite to initiating a comprehensive update of the General Plan. The working group held periodically meetings as warranted between October 2016 and December 2017. While the group did not meet during 2018, meetings reconvene once the General Plan update process begins.

Additional initiatives included in the City's Strategic Plan articulate a plan of action to completion of the comprehensive General Plan update. These include Initiative 1.9.3, which "includes consideration of incremental set aside of funding in the annual budget development in anticipation of future General Plan update and Initiative 1.9.4, which calls for "conducting the comprehensive update of the City's General Plan and supporting environmental document, including all mandatory elements (except the Housing Element, which was updated in 2014). The comprehensive General Plan update would also include an Economic Development Element, and other desired optional Elements as authorized by the City Council."

As of January 1, 2018, California's cities, counties, and charter cities are required to either adopt an Environmental Justice Element in their General Plan or integrate Environmental Justice policies and goals into the elements of their General Plan "upon the adoption or next revision of two or more elements concurrently." Gov. Code Sec. 65302(h)(2). Moreno Valley is considering combing an Environmental Justice Element with a Healthy City component with the next comprehensive update.

CONCLUSION

The City of Moreno Valley General Plan continues to serve as an effective guide for orderly growth and development, preservation and conservation of open space and natural resources. The document also provides for the efficient expenditure of public funds.

As illustrated in the attachments provided with this document, completed public projects are in conformance with the City's General Plan goals, objectives, policies and programs for each representative element. The City of Moreno Valley's legislative bodies have used the 2006 General Plan as a primary source of long-range planning and policy direction. Future work activity that is consistent with these efforts will continue to guide future growth and preserve the quality of life within the community.

MAJOR ACCOMPLISHMENTS

The City of Moreno Valley is committed to implementing the adopted General Plan, Development Code and Design Guidelines. The Development Code and Design Guidelines, combined with the adopted Landscape Guidelines, are major tools to implement the General Plan.

The purpose of this Annual Report is to highlight significant accomplishments and summarize ongoing General Plan projects that the City of Moreno Valley has been working on since January of 2018. Major accomplishments include key projects that demonstrate how the City of Moreno Valley is carrying out the policy and vision of the General Plan. This report is prepared in accordance with Section 65040.5 of the California Government Code.

Major Accomplishments in 2018

Major development projects reviewed and approved in January 2018 through December 2018 are as follows:

- PEN17-0157 (Municipal Code Amendment): Amendments to Title 9 of the City Municipal Code setting forth land use zoning and development regulations for commercial cannabis activities.
- PEN17-0134 (Zone Change) and PEN17-0135 (Conditional Use Permit): A Change of Zone from Neighborhood Commercial (NC) to Community Commercial (CC) and Conditional Use Permit for Proposed Self-Storage Facility. The project is located at the southwest corner of John F. Kennedy Drive & Perris Boulevard.
- PEN17-0144 (Change of Zone) and PEN17-0143 (Plot Plan): A Change of Zone from Business Park Mixed Use (BPX) and Business Park (BP) to Light Industrial (LI) for a 261,807 square foot warehouse. The project is located at the southwest corner of Alessandro Boulevard and Heacock Street.
- PEN18-0027 (Tentative Parcel Map 37478) and PEN18-0028 (Plot Plan): Tentative Parcel Map 37478 and a Plot Plan for 7 building business park complex on approximately 15 acres. The project is located south of Alessandro Boulevard, north of Brodiaea Avenue and westerly of Heacock Street.

GENERAL PLAN IMPLEMENTATION

The General Plan and Development Code provide the City of Moreno Valley the tools necessary to guide the development of the City into the next century. Implementation of the General Plan includes key projects that demonstrate how the City of Moreno Valley is carrying out the policy and vision of the Plan.

General Plan Implementation in 2018

The following General Plan related projects reviewed and approved in January 2018 through December 2018 are as follows:

- PEN16-0013 (General Plan Amendment), PEN16-0014 (Change of Zone) and PEN16-0015 (Specific Plan Amendment): A General Plan Amendment, Change of Zone and Specific Plan Amendment modifying the existing Festival Specific Plan 205 (SP 205) expanding the range of land uses and development opportunities. The Festival Specific Plan 205 covers parcels located south of Ironwood Avenue, north of State Highway 60, east of Heacock Street, and west of Indian Street.
- PEN16-0048 (General Plan Amendment), PEN16-0049 (Change of Zone), PEN16-0052 (Parcel Map 36227), PEN16-0053 (Master Plot Plan), PEN16-0054-0055 Plot Plans (Medical Bld. 1&2), and PEN16-0056-0057 (Conditional Use Permits): A General Plan Amendment from Residential 2 (R2) to Office (O), Change of Zone from Residential 2 (R2) to Office (O), Tentative Parcel Map 36227 and related Plot Plan/Conditional Use Permits for a five building mixed use medical center campus. The project is located at the northeast corner of southeast corner of Brodiaea Avenue and Nason Street.
- PEN16-0127 (General Plan Amendment), PEN16-0128 (SPA), PEN16-0129 (Tentative Parcel Map 37189), and PEN16-0130 (Plot Plan): A General Plan Amendment from Open Space (OS) to Residential 20 (R20), Change of Zone from Golf Course (GC) to Residential 20 (R20), Specific Plan Amendment from Golf Course (GC) to High Density Residential (SP 193 H), and Plot Plan for a 417 unit multiple-family apartment complex on approximately 22 acres. The project is located in the Moreno Valley Ranch Specific Plan 193 on Moreno Beach Drive, south of John F Kennedy Drive.
- PEN18-0053 (General Plan Amendment), PEN18-0054 (Change of Zone), and PEN18-0092 (Tentative Tract Map 37544): A General Plan Amendment from Residential 3 (R3) to Residential 10 (R10), Change of Zone from Residential 3 (R3) to Residential Single-Family 10 (RS10), and Tentative Tract Map 37544 for 45 single-family residential lots on 8.85 acres. The project is located at the northwest corner of Quincy Street and Brodiaea Avenue.

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- PEN18-0024 (General Plan Amendment), PEN18-0025 (Change of Zone), and PEN18-0023 (Plot Plan): A General Plan Amendment from Office (O) to Business Park (BP), Change of Zone from Office (O) to Light Industrial (LI), and a Plot Plan for a 204,022 square foot warehouse/light industrial building on 8.8 acres. The project is located at northeast corner of Frederick Street and Brodiaea Avenue.

City of Moreno Valley
Annual Housing Element Implementation Summary
January 1 – December 31, 2018

Housing Unit Construction in Relation to RHNA				
<i>Income Level</i>	<i>2014-2021 RHNA (# units)</i>	<i>2017 Annual Report Remaining RHNA Need</i>	<i>New Units 2018</i>	<i>2018 Remaining RHNA Need</i>
Very Low	1500	1500	0	1500
Low	993	993	0	993
Moderate	1112	1020	10	1010
Above- Moderate	2564	1906	424	1484
Total	6,169	5,548	434	4,987

Appendix A - Housing Element Implementation Progress Report

Please Start Here

General Information	
Jurisdiction Name	Moreno Valley
Reporting Calendar Year	2018
Contact Information	
First Name	Claudia
Last Name	Manrique
Title	Associate Planner
Email	claudiam@moval.org
Phone	(951) 413-3225
Mailing Address	
Street Address	14177 Frederick St, P.O. Box 88005
City	Moreno Valley
Zipcode	92552

Submittal Instructions

Housing Element Annual Progress Reports (APRs) forms and tables must be submitted to HCD and the Governor's Office of Planning and Research (OPR) on or before April 1 of each year for the prior calendar year; submit separate reports directly to both HCD and OPR pursuant to Government Code section 65400. There are two options for submitting APRs:

- 1. Online Annual Progress Reporting System (Preferred)** - This enters your information directly into HCD's database limiting the risk of errors. If you would like to use the online system, email APR@hcd.ca.gov and HCD will send you the login information for your jurisdiction. *Please note: Using the online system only provides the information to HCD. The APR must still be submitted to OPR. Their email address is opr.apr@opr.ca.gov.*
- 2. Email** - If you prefer to submit via email, you can complete the excel Annual Progress Report forms and submit to HCD at APR@hcd.ca.gov and to OPR at opr.apr@opr.ca.gov. Please send the Excel workbook, not a scanned or PDF copy of the tables.

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

(CCR Title 25 §6202)

Jurisdiction	Moreno Valley	
Reporting Year	2018	(Jan. 1 - Dec. 31)

Note: + Optional field
Cells in grey contain auto-calculation formulas

**Table A
Housing Development Applications Submitted**

Project Identifier					Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Notes	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18		
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA, SFD, 2 to 4, 5+ ADU, MH)	Tenure R= Renter O= Owner	Date Application Submitted	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project (Auto-calculated Can Be Overwritten)	Was APPLICATION SUBMITTED Pursuant to GC 65918.4(b)? (SB 35 Streamlining)	Notes*
Summary Row. Start Data Entry Below																			
	315110021	NA	PEN18-0042	PEN18-0042	SF	O	2/28/2018							178	138	316			
	481171007	NA	PEN18-0060	PEN18-0060	S+	R	3/26/2018						24	2	24	In Review			No
	263132030	NA	PEN18-0064	PEN18-0064	S+	R	3/29/2018						18		18	In Review			No
	487461006	NA	PEN18-0065	PEN18-0065	SF	O	3/29/2018						31		31	In Review			No
	478090031	NA	PEN18-0080	PEN18-0080	SF	O	4/17/2018						8		8	In Review			No
	481200044	NA	PEN18-0086	PEN18-0086	S+	R	4/24/2018						19		19	In Review			No
	308040052, -053, -05	NA	PEN18-0090 & PEN18-0104	PEN18-0090 & PEN18-0104	S+	O	5/1/2018						112		112	In Review			No
	478080014	NA	PEN18-0092	PEN18-0092	SF	O	5/8/2018						45		45	In Review			No
	256150001	NA	PEN18-0123	PEN18-0123	SF	O	6/21/2018						24		24	In Review			No
	479090021	NA	PEN18-0127	PEN18-0127	S+	R	7/2/2018						5		5	In Review			No
	478090019	NA	PEN18-0154	PEN18-0154	SF	O	8/17/2018						6		6	In Review			No
	478272003	NA	PEN18-0222 (custom home)	PEN18-0222 (custom home)	SF	O	11/15/2018						1		1	In Review			No
	473174013	NA	PEN18-0062 (custom home)	PEN18-0062 (custom home)	SF	O	3/27/2018						1		1	In Review			No
	474230005	NA	PEN18-0063 (custom home)	PEN18-0063 (custom home)	SF	O	3/27/2018						1		1	In Review			No
	474341006	NA	PEN18-0057 (custom home)	PEN18-0057 (custom home)	SF	O	3/21/2018						1		1	In Review			No
	478165021	NA	PEN18-0047 (custom home)	PEN18-0047 (custom home)	SF	O	3/2/2018						1		1	In Review			No
	481270033	NA	PEN18-0037 (custom home)	PEN18-0037 (custom home)	SF	O	2/22/2018						1		1	In Review			No
	256150031	NA	PEN18-0005 (custom home)	PEN18-0005 (custom home)	SF	O	1/11/2018						1		1	In Review			No
	291130002	NA	PEN18-0219 (custom home)	PEN18-0219 (custom home)	SF	O	11/6/2018						1		1	In Review			No
	264192013	1702 HUMMINGBIRD #	PEN18-0236	PEN18-0236	ADU	O	11/29/2018						1		1	In Review			No
	478291012	3544 MEADOWLANDS #	PEN18-0189	PEN18-0189	ADU	O	9/25/2018						1		1	In Review			No
	487140022	26576 HEMLOCK AVE	PEN18-0215	PEN18-0215	ADU	O	10/31/2018						1		1	In Review			No
	25500011	9740 SHADOW DR	PEN18-0003	PEN18-0003	ADU	O	1/9/2018						1		1	In Review			No
	259481013	8964 PASATIEMPO PL	PEN18-0173	PEN18-0173	ADU	O	9/10/2018						1		1	In Review			No

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation

The table is a large grid with approximately 30 columns and 100 rows. Three vertical columns are shaded in a dark gray color, serving as dividers. The first shaded column is located at approximately the 15th column position, the second at the 25th, and the third at the 30th. The grid is otherwise empty, with no data or text entered into the cells.

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction	Moreno Valley	
Reporting Year	2018	(Jan. 1 - Dec. 31)

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs. Please contact HCD if your data is different than the material supplied here

Table B													
Regional Housing Needs Allocation Progress													
Permitted Units Issued by Affordability													
		1	2									3	4
Income Level		RHNA Allocation by Income Level	2013	2014	2015	2016	2017	2018	2019	2020	2021	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	1500											1500
	Non-Deed Restricted												
Low	Deed Restricted	993											993
	Non-Deed Restricted												
Moderate	Deed Restricted	1112					92	10				102	1010
	Non-Deed Restricted												
Above Moderate		2564		93	103	119	341	424				1080	1484
Total RHNA		6189											
Total Units 44				93	103	119	433	434				1182	4987

Note: units serving extremely low-income households are included in the very low-income permitted units totals
Cells in grey contain auto-calculation formulas

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
 (CCR Title 25 §6202)

Jurisdiction	Moreno Valley	
Reporting Period	2018	(Jan. 1 - Dec. 31)

Note: + Optional field
 Cells in grey contain auto-calculation formulas

Table F
Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)(2)

This table is optional. Jurisdictions may list (for informational purposes only) units that do not count toward RHNA, but were substantially rehabilitated, acquired or preserved. To enter units in this table as progress toward RHNA, please contact HCD at APR@hcd.ca.gov. HCD will provide a password to unlock the grey fields. Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in Government Code section 65583.1(c)(2).

Activity Type	Units that Do Not Count Towards RHNA* Listed for Informational Purposes Only				Units that Count Towards RHNA* Note - Because the statutory requirements severely limit what can be counted, please contact HCD to receive the password that will enable you to populate these fields.				The description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1*
	Extremely Low-Income*	Very Low-Income*	Low-Income*	TOTAL UNITS*	Extremely Low-Income*	Very Low-Income*	Low-Income*	TOTAL UNITS*	
Rehabilitation Activity									
Preservation of Units At-Risk									
Acquisition of Units									
Total Units by Income									

Jurisdiction	Moreno Valley	
Reporting Year	2018	(Jan. 1 - Dec. 31)

Permitted Units Issued by Affordability Summary		
Income Level		Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	10
Above Moderate		424
Total Units 44		434

Note: units serving extremely low-income households are included in the very low-income permitted units totals

Entitlement Summary	
Total Housing Applications Submitted:	0
Number of Proposed Units in All Applications Received:	316
Total Housing Units Approved:	0
Total Housing Units Disapproved:	0

Use of SB 35 Streamlining Provisions	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

Units Constructed - SB 35 Streamlining Permits			
Income	Rental	Ownership	Total
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Cells in grey contain auto-calculation formulas

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction	Moreno Valley	
Reporting Year	2018	(Jan. 1 - Dec. 31)

Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
Action 1.1	Review and update the General Plan periodically (if an update is needed) to ensure that growth trends are addressed.	<i>Ongoing 2014-2021</i>	General Plan Updated tentatively scheduled to start in 2019.
Action 1.2	Encourage variety of housing development through various Overlay zone alternatives (Senior Housing, Planned Development, Mixed Use) or with the density bonus incentives.	<i>Ongoing 2014-2021</i>	Ongoing
Action 1.3	The Moreno Valley Housing Authority will utilize available funding, HOME, CDBG, etc. allocations to provide the following incentives which may be applied to an affordable housing project: 1) Lease or purchase of City owned property at low rates; 2) Provision of off-site improvements.	<i>Ongoing 2014-2021</i>	Ongoing

Action 1.4

Encourage a mixture of diverse housing types and densities in new developments, guided by specific plans and the Mixed Use Overlay District, around Sunnymead and Alessandro Boulevards and throughout the City. Focus development activity within the Village Specific Plan (SP 204) area to suitably zoned underutilized land and the potential for mixed-use projects exists for the development of affordable housing.

Ongoing 2014-2021

Ongoing

Action 1.5

Support the use of innovative building techniques and construction materials for residential development, such as energy efficient buildings that utilize solar panels and sustainable building materials that are recyclable.

Ongoing 2014-2021

Ongoing 2014-2021 (latest grant funded through December 2014)

Action 1.6

Work with Habitat for Humanity to utilize vacant Housing Authority owned infill lots for single-family development to provide housing for lower income families and individuals.

Ongoing 2014-2021

Approval of 8 unit Tract Map and building 8 units in the planning period. Tentative Tract map for project was approved at Planning Commission in on December 12, 2013. Building of units to begin in Fall 2014.

Action 1.7

Continue to track affordable housing units City-wide. This includes monitoring the method by which units remain affordable to lower-income households (i.e. covenants, deed restrictions, loans, etc.).

Ongoing 2014-2021

City of Moreno Valley Business Support & Neighborhood Programs Division and M

Action 1.8	The Planning Division will utilize design, development, processing and streamlining incentives, such as reductions in parking requirements, and other standards, to encourage residential uses and to promote more intense residential development in the Mixed Use Districts Overlay and Residential 30 (R30) areas. Information on these financial and regulatory incentives will be made available on the City's website and in public places at City Hall.	<i>Ongoing 2014-2021</i>	Ongoing
Action 1.9	Establish parking standards for senior and affordable housing developments that are located in proximity to transit stops.	<i>Ongoing 2014-2021</i>	Parking standards are reduced for senior/affordable projects.

Action 1.10

To encourage the development of affordable residential and mixed-use projects, the City will offer incentives such as a reduction in development standards (i.e. lot size and parking requirements) and with assistance from the Moreno Valley Housing Authority, subsidize a portion of development costs to encourage lot consolidation and to promote more intense residential and mixed-use development on vacant and underutilized sites within the Village Specific Plan (SP 204) area. While the City is more than able to accommodate the remaining RHNA allocation for the planning period on sites larger than one acre, this program allows for the City to begin planning for the future by encouraging property owners to consolidate adjacent properties to develop larger projects.

Ongoing 2014-2021

Ongoing

Action 2.1

Utilize resources such as HOME funds, California Housing Finance Agency single-family and multiple-family programs, HUD Section 208/811 loans, and HOPE II and III Homeownership programs to stimulate private developer and non-profit entity efforts in the development and financing of housing for lower and moderate-income households.

Ongoing 2014-2021

Ongoing

Action 2.2

The Moreno Valley Housing Authority should facilitate discussions between developers and local banks to meet their obligations pursuant to the California Community Reinvestment Act (CCRA) providing favorable financing to developers involved in projects designed to provide lower and moderate-income housing opportunities.

Ongoing 2014-2021

Ongoing

Action 2.3

Consider pursuing a program through the Moreno Valley Housing Authority, if funding is available, or through interested certified Community Housing Development Organization's (CHDO) and/or non-profit organizations, to purchase affordability covenants on existing multiple-family units, subject to restrictions that the affordability covenants would be in effect for not less than 30 years, and that at least 20 percent of the units would be affordable to extremely low- and very low-income households.

Ongoing 2014-2021

Ongoing

Action 2.4 To comply with Senate Bill 2, the City has amended the Moreno Valley Industrial Area Plan (SP 208) to permit emergency shelters by right in the Industrial Support Area without a conditional use permit or other discretionary permit. The City will continue to monitor the inventory of sites appropriate to accommodate emergency shelters and will work with appropriate organizations to ensure the needs of the homeless population whenever possible.

Ongoing 2014-2021

Ongoing

Action 2.5 The City will maintain a list of mortgage lenders participating in the California Housing Finance Agency (CHFA) program and refer the program to builders or corporations interested in developing housing in the City.

Ongoing 2014-2021

List available from the Moreno Valley Housing Authority
City continues to work with Riverside County Housing Authority.

Action 2.6 Continue cooperation with the Riverside County Housing Authority to provide Section 8 rental assistance and work with property owners to encourage expansion of rental projects participating in the program.

Ongoing 2014-2021

Action 2.7 Provide incentives for development of lower income housing through the density bonus program. Actively promote its use in conjunction with mixed-use projects in the Mixed Use Districts Overlay, for senior housing, and within multiple-family zones.

Ongoing 2014-2021

Density program is ongoing.

Action 2.8

Continue to support the City's effort of encouraging multiple-family developments with affordability covenants on units through offering development incentives. These incentives could include reduction in development standards, and expedited permit processing.

Ongoing 2014-2021

Development incentives are ongoing.

Ongoing

Pursuant to Government Code Section 65583, the City of Moreno Valley is obligated to remove potential and actual governmental constraints upon the maintenance, improvement, or development of housing for all income levels and for persons with disabilities. To address the needs of this population, the City amended the Zoning Code to adopt formal reasonable accommodation procedures. Reasonable accommodation provides a basis for residents with disabilities to request flexibility in the application of land use and zoning regulations or, in some instances, even a waiver of certain restrictions or requirements from the local government to ensure equal access to housing opportunities. The City will provide information regarding the City's reasonable accommodation ordinance and make information on the program more widely available to residents.

Action 2.9

Ongoing 2014-2021

Action 2.10	<p>Prioritize resources such as HOME funds, California Housing Finance Agency single-family and multiple-family programs, HUD Section 208/811 loans for the development of rental projects that provide units with two or three bedrooms.</p>	<p>Ongoing 2014-2021</p>	<p>Ongoing</p>
Action 2.11	<p>The City will adopt a density bonus ordinance in compliance with Government Code Section 65915.</p>		

Action 3.1	<p>The City shall expedite and prioritize development processing time of applications for new construction or rehabilitation of housing for lower and moderate-income households and seniors (Previously referred to as Program 8.16). Expedited permit processing would allow complete development applications to be reviewed at an accelerated rate by City Staff in order to ensure that permit processing times do not create a potential constraint on the development of affordable units by adding to the overall cost of the project.</p>	<p>Ongoing 2014-2021</p>	<p>Expedited permit processing is available for new construction or rehabilitation of ho</p>
------------	--	--------------------------	--

To accommodate the needs of extremely low-income households and households with special needs and comply with Senate Bill 2, the City amended Zoning Code Section 9.09.190 to include Single room occupancy (SRO) facilities. Residential 30 (R30), the Mixed Use District Overlay and Community Commercial (CC) allow Single Room Occupancy (SRO) housing as a permitted use without a conditional use permit or other discretionary permit. The City will continue to monitor the inventory of sites appropriate to accommodate single-room occupancy units and will work with the appropriate organizations to ensure the needs of extremely low-income residents are met.

Action 3.2

Ongoing 2014-2021

Action 3.3

Continue to permit manufactured housing on permanent foundations in residential zones subject to compatibility criteria (manufactured housing is subject to the same design review criteria as custom or tract homes).

Ongoing 2014-2021

Ongoing
Continues to be allowed

Action 3.4	In accordance with Government Code Section 65589.7 as revised in 2005, immediately following City Council adoption, the City must deliver a copy of the 2014-2021 Housing Element to all public agencies or private entities that provide water or sewer services to properties within the City of Moreno Valley.	<i>Ongoing 2014-2021</i>	<i>Completed by March 1, 2014</i>
Action 3.5	Administer contract with fair housing agency (Previously referred to as Program 8.7). These services provide educating households on their rights and responsibilities and assist residents with fair housing issues.	<i>Ongoing</i>	Services are ongoing.
Action 3.6	Maintain Development Impact Fees (DIF) at a lower level for affordable units (Previously referred to as Program 8.15). The City offers 25% reduction in the Development Impact Fees (DIF) for affordable housing developments.	<i>Ongoing</i>	Ongoing
Action 3.7	Defer Development Impact Fee for affordable units, until issuance of Certificate of Occupancy (Previously referred to as Program 8.14).	<i>Ongoing</i>	Ongoing
Action 3.8	Waive Traffic Uniform Mitigation Fee (TUMF) for affordable units (Previously referred to as Program 8.17).	<i>Ongoing</i>	Ongoing

Action 3.9	Apply for grant funds to upgrade water infrastructure in the Box Springs Municipal Water Company (BSMWC) service area (Previously referred to as Program 8.22).	Ongoing 2014-2021	N/A
Action 4.1	Continue to provide favorable home purchasing options to lower and moderate-income households, when funds are available, through the County of Riverside's First Time Homebuyers Down Payment Assistance Program and homeownership assistance with the County Mortgage Credit Certificate (MCC) program.	Ongoing 2014-2021	Ongoing
Action 4.2	Continue to work with Habitat for Humanity in the development of single-family homes for lower income families.	Ongoing 2014-2021	8 SF Homes built in 2014. Program remains in place, but not recent activity.
Action 4.3	The Moreno Valley Housing Authority shall provide support to the California Housing Finance Agency (CHFA) program, which supports construction of new owner-occupied units in conjunction with non-profit organizations and/or private developers through advertisement and referral to the program.	Ongoing 2014-2021	Ongoing

Action 4.4	<p>The City shall establish relationships with local lenders, developers and other constituencies such as realtors, and non-profit organizations through community outreach workshops that emphasize specific ideas, issues, and expectations for future development in Moreno Valley.</p>	Ongoing 2014-2021	Ongoing
Action 4.5	<p>Provide funds for Homebuyer Assistance Program (HAP) silent seconds. Work with approved lenders that have HAP experience. The goal of the program is to provide homeownership for low and moderate income families (Previously referred to as Program 8.10).</p>	Ongoing 2014-2021	Ongoing
Action 5.1	<p>Maintain code compliance to ensure building safety and integrity of residential neighborhoods. Enforce the building code through issuance of a permit prior to construction, repair, addition to, or relocation of any residential structure.</p>	Ongoing 2014-2021	Ongoing
Action 5.2	<p>Monitor the substandard dwellings which cannot be economically repaired and remove when necessary and feasible.</p>	Ongoing 2014-2021	Ongoing
Action 5.3	<p>Administer a program to provide grant funds for neighborhood beautification in targeted neighborhoods (Previously referred to as Program 8.3).</p>	Ongoing 2014-2021	N/A

Action 5.4	Receive and approve applications for Mobile Home Grant Program (the goal of the program is to correct substandard living conditions for very low-income owner-occupants). Market program via City Links newsletter. Continue to distribute program material to mobile home parks (Previously referred to as Program 8.4).	Ongoing 2014-2021	N/A
Action 5.5	Provide enhanced code compliance services in the CDBG target areas. Fund 5,000 hours of code enforcement in the CDBG target areas (Previously referred to as Program 8.5).	Ongoing 2014-2021	N/A
Action 5.6	Conduct five (5) annual neighborhood clean-ups, improving the living environment of residents. Provide bins for trash disposal.	Ongoing 2014-2021	N/A
Action 6.1	Encourage maximum utilization of Federal, State, and local government programs, such as the County of Riverside Home Weatherization Program and Western Riverside Council of Governments HERO program, and assist homeowners in providing energy conservation measures.	Ongoing 2014-2021	Ongoing

Action 6.2	Maintain and distribute literature on energy conservation, including solar power, additional insulation, and subsidies available from utility companies, and encourage homeowners and landlords to incorporate these features into construction and remodeling projects.	Ongoing 2014-2021	MVU - ongoing
Action 6.3	Facilitate sustainable development in the City by enforcing the goals, policies, and implementation measures established in the proposed Sustainable Community section in the Conservation Element.	Ongoing 2014-2021	Ongoing
Action 6.4	The City shall implement its local action plan for reduction of greenhouse gas emissions.	Ongoing 2014-2021	Ongoing
Action 6.5	Implement residential Solar Initiative Program to MV Utility customers (Previously referred to as Program 8.31). Literature for the public on energy saving programs offered by local utility companies are available in City Hall offices and on the City's website.	Ongoing 2014-2021	Ongoing
Action 6.6	Market energy efficiency program for residents of MV Utility area (Previously referred to as Program 8.34). The City has energy efficiency information posted on its website and information regarding various programs is mailed out to MV Utility customers in their bills.	Ongoing 2014-2021	Ongoing

The City, in conjunction with the Riverside County Fair Housing Council, shall support efforts dedicated to working towards the elimination of the discrimination of housing by actively pursuing any complaints of housing discrimination within the City. Information detailing fair housing practices will be made available at City Hall and on the City's website. Additionally, the City will participate with the Riverside County Fair Housing Council to conduct workshops and seminars about landlord and tenant responsibilities and rights (Previously referred to as Program 8.7).

Action 7.1

Ongoing 2014-2021

Ongoing

The housing needs of persons with developmental disabilities are typically not addressed by Title 24 Regulations, and requires in addition to basic affordability, slight modifications to existing units, and in some instances, a varying range of supportive housing facilities. To accommodate residents with developmental disabilities, the City will seek State and Federal monies, as funding becomes available, in support of housing construction and rehabilitation targeted for persons with developmental disabilities. Moreno Valley will also provide regulatory incentives, such as expedited permit processing, and fee waivers and deferrals, to projects targeted for persons with developmental disabilities. To further facilitate the development of units to accommodate persons with developmental disabilities, the City shall reach out to developers of supportive housing to encourage development of projects targeted for special needs groups. Finally, as housing is developed or identified, Moreno Valley will work with the Inland Regional Center to implement an

Ongoing

Action 7.2

Ongoing 2014-2021

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KEY	
Planning	Police
Land Development	Waste Coordinator
Special Districts	Transportation
Economic Development	Building
Parks / Community Services	Multiple Departments
Emergency Operations / Fire	

Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
The City Structure Land Use Element Goals and Policies			
9.2 Community Development Element Goals, Objectives, Policies and Programs			
9.2.1 Community Development Element Goals			
Goal 2.1	A pattern of land uses, which organizes future growth, minimizes conflicts between land uses, and which promotes the rational utilization of presently underdeveloped and undeveloped parcels.	Land use designations provided in the General Plan minimizes conflicts between land uses and allows for buffers between industrial, commercial and more sensitive residential land uses. In higher intensity Specific Plans such as the Industrial Area Plan (SP 208), buffers have been established between industrial land uses and existing more sensitive residential development. This is an ongoing goal of the City.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
<p>Goal 2.2</p>	<p>An organized, well-designed, high quality, and functional balance of urban and rural land uses that will meet the needs of a diverse population, and promote the optimum degree of health, safety, well-being, and beauty for all areas of the community, while maintaining a sound economic base.</p>	<p>The City of Moreno Valley strives to approve well-designed, high quality projects. There is a functional balance between urban and rural land uses that will meet the needs of the residents. For example, more rural land use designations are provided in the northern and eastern portions of the city, while urban land uses are provided in the western and southern portions. This practice allows for good sensible land use planning, while maintaining a sound economic base. This is an ongoing goal of the City.</p>	<p>Planning</p>

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Goal 2.3	Achieves an overall design statement that will establish a visually unique image throughout the City.	The City of Moreno Valley's General Plan provides for an overall design statement which establishes unique visual images throughout the City. The Municipal Code, which is consistent with the General Plan, establishes overall design guidelines and standards for residential, commercial and industrial development proposals, and reviews items such as, color, unity/diversity massing, and building proportion. This is an ongoing City goal.	Planning
Goal 2.4	A supply of housing in sufficient numbers suitable to meet the diverse needs of future residents and to support healthy economic development without creating an oversupply of any particular type of housing.	The downturn of the economy in 2007 limited new housing development in the City until recently. In the last year, new residential housing projects have been submitted and housing product has been very diverse. This includes such project types as smaller lot Planned Unit Developments for the senior or first time homeowner and multiple family housing such as apartments. This is an ongoing City goal.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
<p>Goal 2.5</p>	<p>Maintenance of systems for water supply and distribution; wastewater collection, treatment, and disposal; solid waste collection and disposal; and energy distribution which are capable of meeting the present and future needs of all residential, commercial, and industrial customers within the City of Moreno Valley.</p>	<p>A specific goal for the City is to maintain water supply, wastewater collection/treatment/disposal and solid waste collection capable of meeting the present and future needs of City residents. MVU prepares an annual Distribution System Plan, which forecasts the future electrical needs of MVU's service area. Capital improvement projects are then developed and prioritized to ensure that the system will meet the present and future needs of MVU customers. This is an ongoing goal.</p>	<p>Water Purveyors/Waste Coordinator /MVU</p>

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
9.2.2 Community Development Element Objectives and Policies			
Objective 2.1	Balance the provision of urban and rural lands within Moreno Valley by providing adequate land for present and future urban and economic development needs, while retaining the significant natural features and the rural character and lifestyle of the northeastern portion of the community.	The City of Moreno Valley continues to provide a balance of urban and rural land. The majority of the City is urbanized, with a continued emphasis of retaining natural features as well as the urban lifestyle with larger lots and larger animal keeping opportunities north of State Route 60 in the northeaster portion of the community. This is an ongoing City objective.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
<p>Objective 2.2</p>	<p>Provide a wide range of residential opportunities and dwelling types to meet the demands of present and future residents of all socioeconomic groups.</p>	<p>The City has a very diverse residential mix, including a wide range of residential opportunities to meet the demand of all socioeconomic groups. As included in Moreno Valley's approved 2014 Housing Element, the City strives for affordable housing opportunities. The City allows opportunities for Planned Unit Developments (PUD's) that provide smaller lot housing for the senior and first time home buyer. Although the market has been slow for condominium development, apartment projects have recently picked up momentum . There are also continued opportunities for market rate single family home development, from tract maps that have been carried over from before the economic downturn. This is an ongoing City objective.</p>	<p>Planning</p>

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Policies:			
2.2.1	In determining allowable density for residential parcels an "adjusted net acreage" shall be used. Adjusted net acres shall mean the land area that would remain after dedication of ultimate rights-of-ways for arterial streets, freeways and park dedications.	All allowable density of residential projects in the City are determined by calculating an adjusted net average of buildable area after infrastructure dedication for streets, utilities, parks etc. This is a continuing City policy.	Planning
2.2.2	The primary purpose of areas designated Hillside Residential is to balance the preservation of hillside areas with the development of view-oriented residential uses. a. Within the Hillside Residential category, appropriate	Section 9.03.040 B "Residential Site Development Standards" of the Municipal Code establishes standards for hillside residential development consistent with the goals, objectives and policies of the General Plan. Hillside residential development	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
	<p>residential uses include large lot residential uses. Lots smaller than one acre may only be permitted as clustered units to minimize grading, and other impacts on the environment, inclusive of the Multi-Species Habitat Conservation Plan.</p> <p>b. The maximum residential density within Hillside Residential areas shall be determined by the steepness of slopes within the project. The maximum allowable density shall not exceed one dwelling unit per acre on sloping hillside property and shall decrease with increasing slope gradient.</p> <p>c. Future development within Hillside Residential areas shall occur in such a manner as to maximize preservation of natural hillside contours, vegetation and other characteristics. Hillside area developments should minimize grading by following the natural contours as much as possible.</p> <p>d. Development within Hillside Residential areas shall</p>	<p>includes large lot residential uses, with the maximum allowable density not to exceed one dwelling unit per acre on sloping hillside property, including a decreasing density with an increasing slope gradient. Allowable development would preserve the preservation of natural hillsides. A slope analysis is the likely vehicle for development in hillside residential areas to determine the percentage of slope. Goals, objectives and policies of hillside residential development will be further evaluated with the next comprehensive General Plan update.</p>	

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
	<p>be evaluated to determine the precise boundaries of the area. If the Community Development Director determines that adequate slope information is not available, applicants requesting to develop within these areas shall complete a slope analysis for the proposed development site. Portions of the development that exceed an average slope of 10% shall adhere to the policies within the Hillside Residential category. Portions of the development where the slopes are less than 10% on average shall adhere</p>		

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.2.3	<p>The primary purpose of areas designated Rural Residential is to provide for and protect rural lifestyles, as well as to protect natural resources and hillsides in the rural portions of the City.</p> <p>a. The maximum residential density within Rural Residential and areas shall be determined by the steepness of slopes within the individual project area. The maximum allowable density shall be 0.4 dwelling units per acre (an average lot size of 2.5 acres) on flat terrain and shall decrease with increasing slope gradient.</p> <p>b. Within the Rural Residential category, appropriate residential uses include large lot residential uses. Lots smaller than 2.5 acres may only be permitted as clustered units to minimize grading and other impacts on the environment, inclusive of the Multi-Species Habitat Conservation Plan.</p>	<p>Section 9.03.040 A "Residential Site Development Standards" of the Municipal Code establishes standards for rural residential development consistent with the goals, objectives and policies of the General Plan. This includes large lot residential development allowing a maximum density of 0.4 dwelling units per acre on flat terrain, with a decrease in density as the slope gradient increases. This is an ongoing policy.</p>	<p>Planning</p>
2.2.4	<p>The primary purpose of areas designated Residential 1 is to provide for and protect rural lifestyles. The maximum allowable density for projects within the Residential 1 areas shall be 1.0 dwelling unit per acre.</p>	<p>Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes requirements for Residential 1 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 1 dwelling unit per acre. This is an ongoing policy.</p>	<p>Planning</p>

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.2.5	The primary purpose of areas designated Residential 2 is to provide for suburban lifestyles on residential lots larger than commonly available in suburban subdivisions and to provide a rural atmosphere. The maximum allowable density shall be 2.0 dwelling units per acre.	Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 2 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 2 dwelling units per acre. This is an ongoing policy.	Planning
2.2.6	The primary purpose of areas designated Residential 3 is to provide a transition between rural and urban density development areas, and to provide for a suburban lifestyle on residential lots larger than those commonly found in suburban subdivisions. The maximum allowable density shall be 3.0 dwelling units per acre.	Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 3 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 3 dwelling units per acre. This is an ongoing policy.	Planning
2.2.7	The primary purpose of areas designated Residential 5 is to provide for single-family detached housing on standard sized suburban lots. The maximum allowable density shall be 5.0 dwelling units per acre.	Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 5 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 5 dwelling unit per acre. This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.2.8	The primary purpose of areas designated Residential 10 is to provide for a variety of residential products and to encourage innovation in housing types. Developments within Residential 10 areas are typically expected to provide amenities not generally found in suburban subdivisions, such as common open space and recreational areas. The maximum allowable density shall be 10.0 dwelling units per acre.	Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 10 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 10 dwelling units per acre. This is an ongoing policy.	Planning
2.2.9	The primary purpose of areas designated Residential 15 is to provide a range of multi-family housing types for those not desiring dwellings on individual lots that include amenities such as common open space and recreational facilities. The maximum allowable density shall be 15.0 dwelling units per acre.	Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for multiple-family Residential 15 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 15 dwelling unit per acre. This is an ongoing policy.	Planning
2.2.10	The primary purpose of areas designated Residential 20 is to provide a range of high density multi-family housing types. Developments within Residential 20 areas shall also provide amenities, such as common open spaces and recreational facilities. The maximum density shall be 20 dwelling units per acre.	Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for high density residential 20 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 20 dwelling units per acre. This is an ongoing policy.	Planning

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2.2.11	The primary purpose of areas designated Residential 30 is to provide a range of high density multi-family housing types in an urban setting. Developments within Residential 30 areas shall also provide amenities, such as common open spaces and recreational facilities. The maximum density shall be 30 dwelling units per acre.	Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for high density Residential 30 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 30 dwelling unit per acre. This is an ongoing policy.	Planning
2.2.12	Densities in excess of the maximum allowable density for residential projects may be permitted pursuant to California density bonus law.	The City encourages the use of density bonus for affordable housing and senior housing opportunities. Development Code Section 9.03.050 "Density Bonus Program for Affordable Housing" provides provisions for density bonus and greater on-site project densities. This is an ongoing policy.	Planning
2.2.13	Planned Unit Developments (PUD) shall be encouraged for residential construction in order to provide housing that is varied by type, design, form of ownership, and size. PUD's shall also provide opportunities to cluster units to protect significant environmental features and/or provide unique recreational facilities.	PUD's are encouraged to allow for more diverse designs, recreational opportunities and walkable residential communities. Section 9.03.060 "Planned Unit Developments of the Development Code provides for PUD's and clustering opportunities to avoid existing environmental constraints. This is an ongoing policy.	Planning

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2.2.14	Discourage costly "leap-frog" development patterns by encouraging in-fill development wherever feasible, thereby reducing overall housing costs. Development within an area designated as SP 212-1 (Moreno Highlands) is not considered to be leapfrog development.	Developing on infill properties is always encouraged by the City. This is an ongoing policy.	Planning
2.2.15	Encourage a diversity of housing types, including conventional, factory built, mobile home, and multiple family dwelling units.	The City encourages a diverse housing mix for all residentially zoned property. This is an ongoing policy.	Planning
2.2.16	Encourage the use of innovative and cost effective building materials, site design practices and energy and water conservation measures to conserve resources and reduce the cost of residential development.	The use of cost effective building materials, site design practices and energy/water conservation measures is encouraged through the Development and Building Codes. For example. The Landscape ordinance requires drought tolerant plant materials and waterwise irrigation practices . The Green Building Code requires conservations measures such as building material design and other energy requirements. This is an ongoing policy.	Planning
2.2.17	Affordable housing developments should be compatible in visual design with surrounding development.	All newly constructed affordable housing developments are compatible with both exterior design and surrounding development. This is an ongoing policy.	Planning

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2.2.18	Discourage nonresidential uses on local residential streets that generate traffic, noise or other characteristics that would adversely affect nearby residents.	Current zoning practices discourages and in many cases does not allow for impactful non-residential development to occur. The Municipal Code (Section 9.02.020 "Permitted Uses"), restricts non residential uses in residential zones that are contained to local residential streets. This is an ongoing policy.	Planning
Objective 2.3	Promote a sense of community and pride within residential areas through increased neighborhood interaction and enhanced project design.	A sense of community and pride is instilled in newly approved projects through good design and walkable communities. Increased neighborhood interaction is also encourage through such things as neighborhood watch and Pop teams established for multiple family residential development. This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Policies:			
2.3.1	Within individual residential projects, a variety of floor plans and elevations should be offered.	Pursuant to Section 9.16.130 (Table 9.16.130B) of the Code, all residential projects shall provide a variety of floor plans and elevations. This is an ongoing policy.	Planning
2.3.2	Encourage building placement variations, roofline variations, architectural projections, and other embellishments to enhance the visual interest along residential streets.	Chapter 16 of the Municipal Code requires roofline variations, architectural projections and other embellishments such as four sided architecture. This is an ongoing policy.	Planning
2.3.3	Discourage the development of single-family residences with a bulk (building mass) that is out of scale with the size of the parcels on which they are located.	The City understands that building massing is a very important issue to consider in residential elevations and when developing single-family residential communities. The design guidelines contained in Section 9.16.010 of the Municipal Code discourages building massing that is out of context with the existing neighborhood. This is an ongoing policy.	Planning
2.3.4	Design large-scale small lot single family and multiple family residential projects to group dwellings around individual open space and/or recreational features.	Section 9.03.060 "Planned Unit Developments" of the Municipal Code encourages PUD's for greater innovation in housing development and conservation of natural resources and open space. Recreational facilities such as picnic areas, pocket parks, walking paths and gyms are commonplace among PUD developments. This is an ongoing policy.	Planning

Attachment: Appendix B - Annual Report GP Goals-Policies [Revision 1] (3395 : 2018 General Plan

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2.3.5	<p>Ensure that all multiple family housing is well-designed, attractive and livable by:</p> <p>a. Ensuring all structures are architecturally compatible and include decorative architectural features and articulation in walls and roofs;</p> <p>b. Providing adequate parking, walkways, lighting, landscaping, amenities and open space areas;</p> <p>c. Providing private open space areas such as patios and balconies.</p>	<p>Pursuant to Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code, multiple-family residential projects shall be architecturally compatible with the existing neighborhood, provide parking, walkways and common open space areas such as picnic areas, pools, tot lots etc. This is an ongoing policy.</p>	<p>Planning</p>
Objective 2.4	<p>Provide commercial areas within the City that are conveniently located, efficient, attractive, and have safe and easy pedestrian and vehicular circulation in order to serve the retail and service commercial needs of Moreno Valley residents and businesses.</p>	<p>The City strives for commercial areas that provide functional vehicular circulation and safe pedestrian areas that are walkable internally between uses and externally to surrounding neighborhoods. This is an ongoing objective.</p>	<p>Planning</p>
Policies:			

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.4.1	The primary purpose of areas designated Commercial is to provide property for business purposes, including, but not limited to, retail stores, restaurants, banks, hotels, professional offices, personal services and repair services. The zoning regulations shall identify the particular uses permitted on each parcel of land, which could include compatible noncommercial uses. Commercial development intensity should not exceed a Floor Area Ratio of 1.00 and the average floor area ratio should be significantly less.	Zoning regulations for commercial uses are consistent with established General Plan land use. For example, the City's zoning map establishes Commercial zoning designations and the Municipal Code Permitted Uses Table (Section 9.02.020-1) provides for permitted uses allowed for each commercial zoning category. This is an ongoing policy.	Planning
2.4.2	The commercial area located at the intersection of Alessandro Boulevard and Redlands Boulevard shall provide for commercial land uses that are compatible with the historical, small town nature of the original Moreno town site. The zoning regulations shall identify the particular uses permitted on each parcel of land, which could include compatible noncommercial uses.	The General Plan Land Use Map shows the site zoned as VC or Village Commercial, which is a unique zoning classification allowing for unique uses. Any development at this intersection has been and would need to be compatible with the historical, small town nature of the original site.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.4.3	The commercial area located on the north side of State Route 60 at the intersection of Moreno Beach Drive shall provide for the establishment of commercial land uses that serve the daily needs of the surrounding residential neighborhood and the traveling public. It is not intended to serve the needs of the region for goods, services, entertainment or recreation. The zoning regulations shall identify the particular uses and type of development permitted on each parcel, which could include office uses and compatible noncommercial uses.	Properties located north of State Route 60 at the intersection of Moreno Beach Drive are zoned CC or Community Commercial. The zoning established in the City's Land Use Map and Municipal Code identifies permitted uses allows for commercial/retail uses that both serve the needs of the surrounding residential neighborhood and the traveling public. The preferred alternative in the Highway 60 Corridor study suggested a town center concept which includes potential entertainment retail uses such as hotels and sit down restaurant. This item shall be reviewed further during the next General Plan update.	Planning
2.4.4	An overlay district limiting land uses to those that are supportive and compatible with medical uses shall be established around the Riverside County Regional Medical Center and the Moreno Valley Community Hospital . The zoning regulations shall identify the particular uses and type of development permitted on each parcel.	Municipal Code standards under Section 9.07-040 "Medical Use Overlay District (MUO)", provides the foundation to create and maintain diverse and supportive medical uses in the vicinity of the Riverside County Regional Medical Center (Riverside University Health Systems) and the Moreno Valley Community Hospital. This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.4.5	The primary purpose of locations designated Mixed-Use on the Moreno Valley General Plan Land Use map is to provide for the establishment of commercial and office uses and/or residential developments of up to 20 dwelling units per acre. The zoning regulations shall identify the particular uses and type of development permitted on each parcel. Overall development intensity should not exceed a floor area ratio of 1.00.	The Mixed Use land use zone established in the General Plan provides for both commercial/office and higher density residential development opportunities. The permitted uses table (Municipal Code(Section 9.02.020-1) identifies types of uses and Residential Site Development Standards (Municipal Code Section 9.03.040-6) establishes floor area ratios. The revised Mixed Use Overlay has established standards for denser residential development and allows density to rise from a maximum of 20 dwelling units per acre to a maximum of 40 dwelling units per acre. This item shall be further reviewed and adjusted accordingly with the next General Plan update.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.4.6	The primary purpose of areas designated Residential/Office on the Moreno Valley General Plan Land Use map is to provide areas for the establishment of office-based working environments or residential developments of up to 15 dwelling units per acre. The zoning regulations shall identify the particular uses and type of residential development permitted on each parcel of land. Overall development intensity should not exceed a Floor Area Ratio of 1.00.	As established in Chapter 9,02, Section 9.02.020 of the Municipal Code, areas zoned Residential/Office provide office based working environments and allow for higher density multiple-family residential development. Zoning regulations identify particular uses, types of residential development and floor area ratio requirements. This is an ongoing policy.	Planning
2.4.7	The primary purpose of areas designated Office is to provide for office uses, including, administrative, professional, legal, medical and financial offices. The zoning regulations shall identify the particular uses permitted on each parcel of land, which could include limited non-office uses that support and are compatible with office uses. Development intensity should not exceed a Floor Area Ratio of 2.00 and the average intensity should be significantly less.	The Municipal Code (Sections 9.02.020 and 9.04.010) establishes permitted uses and defines areas designated for office type uses. Current zoning regulations identifies development intensity. This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.4.8	Orient commercial development toward pedestrian use. Buildings should be designed and sited so as to present a human-scale environment, including convenient and comfortable pedestrian access, seating areas, courtyards, landscaping and convenient pedestrian access to the public sidewalk.	Section 9.04.010 encourages concentration of commercial use for the convenience of the public and to secure a mutually beneficial relationship between commercial uses and the and public. Section 9.16.150 "Commercial Design Guidelines requires pedestrian pathways in parking areas and further incorporates pedestrian ways and plazas to provide visual interest and functionality. This is an ongoing policy.	Planning
2.4.9	Require reciprocal parking and access agreements between individual parcels where practical.	Section 9.16.150 "Commercial Design Guidelines requires interspace access be provided between commercial centers reducing the number of drive approaches from the street and to encourage commercial/retail crossover. This is an ongoing policy.	Planning
2.4.10	Design internal roadways so that direct access is available to all structures visible from a particular parking area entrance in order to eliminate unnecessary vehicle travel, and to improve emergency response.	Internal roadways provide direct access to all structures visible from a parking area entrance. This would also be the norm for Specific Plans under Chapter 9.13. This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.4.11	The commercial area located in the vicinity of the intersection of Gilman Springs Road and Jack Rabbit Trail shall provide those commercial support activities necessary and/or incidental to adjacent recreational uses and emphasize tourist-oriented activities and retail services. Recreation-oriented residential land use types may be appropriate to the extent that they are incidental to and complement the recreational character of the area. At such time as the area is annexed to the City, the zoning regulations shall identify the particular uses permitted on each parcel of land.	The General Plan Land Use Map provides a commercial land use designation for this area located in the City's Sphere of Influence. Based on the policy, land uses should be limited away from general commercial use, with an emphasis on more recreation or tourist oriented land uses. This item shall be further reviewed and evaluated in the next comprehensive General Plan update.	Planning
Objective 2.5	Promote a mix of industrial uses which provide a sound and diversified economic base and ample employment opportunities for the citizens of Moreno Valley with the establishment of industrial activities that have good access to the regional transportation system, accommodate the personal needs of workers and business visitors; and which meets the service needs of local businesses.	The Municipal Code provides for a mixture of industrial uses that provide a diverse economic base and opportunities for employment with access to regional transportation systems.	Planning
Policies:			

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.5.1	The primary purpose of areas designated Business Park/Industrial is to provide for manufacturing, research and development, warehousing and distribution, as well as office and support commercial activities. The zoning regulations shall identify the particular uses permitted on each parcel of land. Development intensity should not exceed a Floor Area Ratio of 1.00 and the average floor area ratio should be significantly less.	The Business park/Industrial land use category provides for a wide variety of industrial uses from warehousing, manufacturing and office/support uses. The Municipal Code Permitted Uses Table (Section 9.02.020-1) establishes permitted uses allowed for this land use category. This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.5.2	Locate manufacturing and industrial uses to avoid adverse impacts on surrounding land uses.	Industrial design guidelines provided in the Municipal Code Chapter 9.16 requires truck traffic to be channeled directly to truck routes and prohibits access to neighborhood streets. Manufacturing/industrial uses shall be screened and buffered from surrounding land uses. This is an ongoing policy.	Planning
2.5.3	Screen manufacturing and industrial uses where necessary to reduce glare, noise, dust, vibrations and unsightly views.	Municipal Code Sections 9.16.160 "Business Park/industrial" and 9.05.050 'Good Neighbor Guidelines for Warehouse Distribution Facilities" require screening for manufacturing and industrial uses in view of rights of way. This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
2.5.4	Design industrial developments to discourage access through residential areas.	Industrial development is designed to discourage access through residential zones. Industrial design guidelines provided in the Municipal Code Chapter 9.16 requires truck traffic to be channeled directly to truck routes and prohibits access to neighborhood streets. In addition, Section 9.05.050 "Good Neighbor Guidelines for Warehouse Distribution Facilities" eliminates diesel trucks from unnecessarily traversing through residential neighborhoods based on establish truck routes, parking restrictions and proper signage .This is an ongoing policy.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Objective 2.6	Maintain an adequate inventory of lands for the conduct of public, quasi-public, and institutional activities, including protection of areas needed for future public, quasi-public, and institutional facilities.	This is an on-going policy. Seniors and other users are encouraged to use para transit services provided by the Riverside Transit Agency. This is consistent with Chapter 9.11.080 of the Municipal Code.	Land Dev./Administrative Services/Police/Fire/Planning
Policies:			
2.6.1	The primary purpose of areas designated Public/Quasi-Public is to provide property for civic, cultural and public utility uses, including, but not limited to schools, libraries, fire stations, museums, and government offices. The zoning regulations shall identify the particular uses permitted on each parcel of land. Development intensity should not exceed a Floor Area Ratio of 1.00 and the average Floor Area Ratio should be significantly less.	The Municipal Code (Sections 9.02.020 and 9.04.010) establishes permitted uses and defines areas designated for "Public" uses. The description in this policy is consistent with zoning requirements in the above sections. This is an ongoing policy	Land Dev./Administrative Services/Police/Fire/Planning
Objective 2.7	Encourage open space preservation through appropriate land use policies that recognize the valuable natural resources and areas required for protection of public safety that exist in the City.	Municipal Code Chapter 9.06, Section 9.06.010 establishes standards for open space districts. The intent is to require specific regulations to preserve certain life styles, significant geological or other unique features, and protect the public health safety and welfare. Municipal Code Section 9.02.020 establishes permitted uses for properties located in the district. This is an ongoing objective.	Planning

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Policies:			
2.7.1	The primary purpose of areas designated Open Space , is to provide areas that are substantially unimproved, including, but not limited to areas for outdoor recreation, the preservation of natural resources, the grazing of livestock and the production of crops. Development intensity should not exceed a Floor Area Ratio of 0.10 and the average Floor Area Ratio should be significantly less.	The purpose of Open Space Districts is to provide primarily unimproved areas, while preserving natural and environmentally sensitive areas. Municipal Code Chapter 9.06, Section 9.06.010 establishes standards for open space districts. Municipal Code Section 9.02.020 establishes permitted uses for properties located in the district. This is an ongoing policy.	Planning
2.7.2	The primary purpose of areas designated Floodplain is to designate floodplain areas where permanent structures for human occupancy are prohibited to protect of the public health and safety. Development intensity should not exceed a Floor Area Ratio of 0.05.	Accomplished through site design consistent with Municipal Code Chapter 8.12.	Land Development/Planning
Objective 2.8	The major purpose of specific plans is to encourage and promote the development of larger-scaled mixed-use developments for the purpose of providing adequate flexibility and innovation in residential building types, land use mixes, site design, and development concepts.	Some of the objectives of a specific plan are to encourage and promote the development of larger scaled mixed use developments for purposes of providing flexibility and innovation in residential building types, land use mixes, site design and development concepts for areas at or exceeding 15 acres. Municipal Code Chapter 9.13, Sections 9.13.010 through 9.13.050 provide purpose and intent, applicability and specific plan requirements. This is an ongoing objective.	Planning

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Policies:			
2.8.1	<p>In order to provide superior design solutions, reduce adverse environmental impacts, preserve scenic values, and enhance the provision of open space and other amenities, transfers of residential densities permitted under the General Plan may be accomplished in accordance with the following:</p> <p>a. The transfer of residential densities may be accomplished only pursuant to approval of a planned unit development or hillside development.</p> <p>b. Up to one hundred percent (100%) of the density indicated on the General Plan Land Use map may be transferred within a single hillside development or planned unit development project. Densities may not be transferred from one project to another.</p> <p>c. The proposed transfer of densities shall be accomplished such that the project results in a superior use of land, increased sensitivity to the environment, and/or enhanced project amenities without an increased burden on public facilities and services.</p>	<p>Municipal Code chapter 9.03, Section 9.03.050 provides standards for density bonus and affordable housing opportunities. In addition, Chapter 9.03.060 "Planned Unit Developments", provide transfer of densities to preserve scenic areas, rock outcroppings and conservation of cultural or biological resources. Project amenities are enhanced by providing walkable communities that provide ample open space areas such as trails and parks. This is an ongoing policy.</p>	<p>Planning</p>

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2.8.2	To the extent that development policies, land use standards, design guidelines, and other provisions of the adopted specific plans are, by their content, intended to address issues contained in the objectives, policies, and implementation programs of the Moreno Valley General Plan, and are inconsistent with the provisions of the General Plan, then the provisions of those specific plans shall be controlling; otherwise, all other provisions of the Moreno Valley General Plan shall remain in effect.	Specific Plans have been developed to be consistent with and to address issues contained in the Moreno Valley General Plan. All items not addressed in specific plans are directed to provisions in the Municipal Code (which is consistent with General Plan provisions). This is an ongoing policy.	Planning
Objective 2.9	Maintain City boundaries that are logical in terms of City service capabilities, economic development needs, social and economic interdependencies, citizen desires, and City costs and revenues.	Logical City boundaries have been maintained throughout the years with areas designated as spheres of influence for future expansion opportunities of the City. This is an ongoing objective.	Planning
Policies:			
2.9.1	Support and encourage the annexation of unincorporated areas within the General Plan study area for which: a. Long-term benefits will be derived by the City; b. Adequate infrastructure and services have been or can be economically provided in accordance with current City standards; c. The proposed annexation will generate sufficient revenues to adequately pay for the provision of City services within a reasonable period of time.	Logical City areas of future annexation of unincorporated areas (northern and eastern portions) have been encouraged to produce long term benefits only if the necessary infrastructure is in place or is attainable, and if the annexation can generate sufficient revenues to pay for City services. These areas have been designated as spheres of influence. This is an ongoing policy.	Planning

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Objective 2.10	Ensure that all development within the City of Moreno Valley is of high quality, yields a pleasant living and working environment for existing and future residents, and attracts business as the result of consistent exemplary design.	It is an objective of the City of Moreno Valley to make sure that development is of the highest quality, provides a pleasant living and working environment for residents and from an economic development standpoint, attracts business based on high quality design. This is an ongoing objective.	Planning
Policies:			
2.10.1	Encourage a design theme for each new development that is compatible with surrounding existing and planned developments.	Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code establishes design for different types of development. Consistent with this Chapter, design themes are encouraged for new development. The theme shall be compatible with surrounding development. This is an ongoing policy.	Planning
2.10.2	Screen trash storage and loading areas, ground and roof mounted mechanical equipment and outdoor storage areas from public view as appropriate.	Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code establishes design for screening of trash/ storage areas, loading areas, roof mounted mechanical equipment and outdoor storage areas from public view. This is an ongoing policy.	Planning

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2.10.3	<p>Require exterior elevations of buildings to have architectural treatments that enhance their appearance.</p> <p>a. A design theme, with compatible materials and styles should be evident within a development project;</p> <p>b. Secondary accent materials, colors and lighting should be used to highlight building features;</p> <p>c. Variations in roofline and setbacks (projections and recesses) should be used to break up the building mass.</p> <p>d. Industrial buildings shall include architectural treatments on visible facades that are aesthetically pleasing.</p>	<p>Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code establishes design for exterior building facades and architectural treatments for all development types to include such items as overall design materials, accent materials, rooflines and architectural treatments for industrial buildings. This is an ongoing policy.</p>	<p>Planning</p>
2.10.4	<p>Landscaping and open spaces should be provided as an integral part of project design to enhance building design, public views, and interior spaces; provide buffers and transitions as needed; and facilitate energy and resource conservation.</p>	<p>Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code requires landscape buffers and open spaces to enhance public design, public views and interior spaces. Landscape in buffers and opens space also facilitates energy conservation. This is an ongoing policy.</p>	<p>Planning</p>
2.10.5	<p>Development projects adjacent to freeways shall provide landscaped buffer strips along the ultimate freeway right-of-way.</p>	<p>Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code requires freeway adjacent developments to provide landscape buffers along freeway rights of ways. This is an ongoing policy.</p>	<p>Planning</p>

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2.10.6	Buildings should be designed with a plan for adequate signage. Signs should be highly compatible with the building and site design relative to size, color, material, and placement.	Chapter 9.12 "Sign Regulations" of the Municipal Code establishes requirements for sign placement and design. For visibility and economic viability of the business, adequate signage is required for building and site design. This is an ongoing policy.	Planning
2.10.7	On-site lighting should not cause nuisance levels of light or glare on adjacent properties.	Chapter 9.08 "General Development Standards" Section 9.08.100 "Lighting" of the Municipal Code provides standards for lighting and limitations for light and glare. Recent modifications to the Code have provided for dark sky provisions with further limitations of light spillage onto adjacent properties. This is an ongoing policy.	Planning
2.10.8	Lighting should improve the visual identification of structures. Within commercial areas, lighting should also help create a festive atmosphere by outlining buildings and encouraging nighttime use of areas by pedestrians.	Chapter 9.08, Section 9.08.100 "Lighting" of the Municipal Code provides lighting standards for visual identification. Lighting accents to the building through up lighting opportunities outline buildings and encourage use by pedestrians at night. This is an ongoing policy.	Planning

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2.10.9	Fences and walls should incorporate landscape elements and changes in materials or texture to deter graffiti and add visual interest.	Both Chapters 9.08 Section 9.08.070 "Fences and Walls" and Chapter 9.16 "Design Guidelines" both require landscape elements, material changes and texture to deter graffiti to fences and walls This is an ongoing policy.	Planning
2.10.10	Minimize the use and visibility of reverse frontage walls along streets and freeways by such treatments as landscaping, berming, and "side-on" cul-de-sacs.	Due to the cost of establishing "Special Districts" to maintain reverse frontage landscape and irrigation, reverse frontage development has been discouraged. Therefore, the use of reverse frontage walls is minimal. Any necessary reverse frontage wall shall be decorative in nature and would include landscape and possible berming to break up the elevations. This is an ongoing policy.	Planning
2.10.11	Screen and buffer nonresidential projects from adjacent residential property and other sensitive land uses when necessary to mitigate noise, glare and other adverse effects on adjacent uses.	Chapter 9.16 "Design Guidelines", Sections 9.16.150 and 9.16.160 and Chapter 9.08, Section 9.08.150 of the Municipal Code provides general screening and buffer requirements for non-residential properties to other sensitive properties. This would include such items as trash areas, loading areas, ground-mounted equipment, roof mounted equipment etc. This is an ongoing policy.	Planning

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2.10.12	Screen parking areas from streets to the extent consistent with surveillance needs (e.g. mounding, landscaping, low profile walls, and/or grade separations).	Both Landscape Guidelines (Parking Lots) approved by resolution in 2009 and Chapter 9.16 "Design Guidelines" for residential, commercial, industrial and office land uses include guidelines for screening of materials and equipment from streetscapes. This is an ongoing policy.	Planning
2.10.13	Provide landscaping in automobile parking areas to reduce solar heat and glare.	Landscape Guidelines (Parking Lots) approved by resolution in 2009 specifically requires landscaping in automobile parking areas. This is an ongoing policy.	Planning
2.10.14	Preserve or relocate existing mature trees and vegetation where practical. Mature trees shall be replaced when they cannot be preserved or relocated.	Landscape Guidelines approved by resolution in 2009 specifically requires preservation of landscape and specifically trees. Mature trees not able to be preserved shall be replaced at a 3 to 1 ratio. This is an ongoing policy (MC 9.17.030.E.8)	Planning
2.10.15	Emphasize the "gateway status" of lands in the vicinity of the intersection of I-215 and State Route 60, at the intersection of Alessandro Boulevard and I-215, at the intersection of Perris Boulevard and State Route 60, and at State Route 60 and Gilman Springs Road. In the vicinity of those areas designated as having "gateway status", the City shall encourage community identification signing.	Although gateway status has been emphasized with a recent upgrade of community identification status, the City has not designated any specific areas along the I-215 or State Route 60 gateway status As there are no specific policies or Code requirements on this subject, it is recommended that the item be further reviewed during the comprehensive update of the General Plan.	Planning

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Objective 2.11	Maintain a water system that is capable of meeting the daily and peak demands of Moreno Valley residents and businesses, including the provision of adequate fire flows.	This item is accomplished through will serve letters, environmental documentation, and fire flow letters.	Land Development/Planning/Fire
Policies:			
2.11.1	Permit new development only where and when adequate water services can be provided.	This item is accomplished through will serve letters and environmental documentation.	Land Development/Planning
Objective 2.12	Maintain a wastewater collection, treatment, and disposal system that is capable of meeting the daily and peak demands of Moreno Valley residents and businesses.	Wastewater collection and treatment is provided by Eastern Municipal Water District (EMWD) Western Municipal Water District (WMWD), and Edgemont Community Services District (ECSD)	Land Development
Policies:			
2.12.1	Prior to the approval of any new development application ensure that adequate septic or sewer service capacity exists or will be available in a timely manner.	Requirement for sewer unless septic allowed by Riverside County Department of Environmental Health. This is consistent with Municipal Code Chapter 9.14.	Land Development
Objective 2.13	Coordinate development activity with the provision of public infrastructure and services to eliminate possible gaps in service provision.	Accomplished through design/construction consistent with Municipal Code Chapter 9.14.	Land Development
Policies:			
2.13.1	Limit the amount of development to that which can be adequately served by public services and facilities, based upon current information concerning the capability of public services and facilities.	Adequate public services are reviewed for each development proposal through California Environmental Quality Act guidelines.	Land Development/ Planning
2.13.2	Unless otherwise approved by the City, public water, sewer, drainage and other backbone facilities needed for a project phase shall be constructed prior to or concurrent with initial development within that phase.	Accomplished through design/construction consistent with Municipal Code Chapter 9.14.	Land Development

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2.13.3	It shall be the ultimate responsibility of the sponsor of a development project to assure that all necessary infrastructure improvements (including system wide improvements) needed to support project development are available at the time that they are needed.	Accomplished through design/construction consistent with Municipal Code Chapters 9.8 and 9.14.	Land Development
2.13.4	Encourage installation of advanced technology infrastructure, including, but not limited to, infrastructure for high speed internet access and solar energy.	Land Development is not providing guidance on high speed internet access or involved with solar energy. Any involvement would be through the plan check process completed for utilities.	Land Development
Objective 2.14	Establish and implement comprehensive solutions to the financing of public facilities that adequately distribute costs based on the level of benefit received and the timing of development.	This item is accomplished through implementation of DIF and TUMF programs consistent with Municipal Code Title 3.	Finance / Facilities / Land Development/SD/Capital Projects

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Policies:			
2.14.1	Conduct periodic review of public facilities impact mitigation fees in accordance with state statutes to ensure that the charges are consistent with the costs of improvements. Utilize the service and mitigation standards contained in the Moreno Valley General Plan as the basis for determining improvement costs.	DIF program is periodically updated and the program is implemented consistent with Municipal Code Title 3.	Finance / Facilities / Land Development/Capital Projects
2.14.2	Promote the establishment of benefit assessment districts, Mello-Roos Community Facilities Districts, tax increment financing, and other financing mechanisms in combination with programmed capital improvements to eliminate existing public service and facility gaps, and to provide necessary facilities in advance of the impacts created by development.	CFD No. 2014-01 (Maintenance Services) was established on March 25, 2014. The District was formed to provide an alternative financing tool for the development community. It provides a mechanism to fund the operation and maintenance of street lighting services and maintenance of public landscaping. With next comprehensive General Plan update, it is recommend to change, "Promote the establishment of benefit assessment district, Mello-Roos Community Facilities Districts, tax increment financing, and other financing mechanisms in combination. . ." with "Promote the establishment of various special financing districts based on qualifications of project in combination. . ."	Special Districts

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2.14.3	Review development projects for their impacts on public services and facilities including, but not necessarily limited to, roadways, water, sewer, fire, police, parks, and libraries and require public services or facilities to be provided at the standards outlined in the Moreno Valley General Plan and the standards of applicable service agencies	Water and sewer impacts/service is determined during entitlement and will serve letters from purveyor.	Public Works / Public Safety/Facilities/Parks
Objective 2.15	Ensure that all Moreno Valley residents have access to high-quality educational facilities, regardless of their socioeconomic status or location within the City.	This objective is being met with continual cooperation and dialog with the Moreno Valley Unified School District and the Van Verde Unified School District.	Administrative Services/Planning

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Policies:			
2.15.1	Encourage an ongoing open liaison with all school districts regarding proposed school design and siting to maximize access and minimize impacts to adjacent uses.	This will ensure that City Standards are conveyed, joint-use facilities are considered, safe routes to school are established, opportunity for parks are incorporated on adjacent property, and amenities are designed to minimize impacts to adjacent uses.	Parks/Planning
Objective 2.16	Maintain local library facilities and reserves in accordance with the following minimum standards: 0.5 square feet of library space and 1.2 volumes per capita.	Libraries fall under Admin Services. While the space and volume goals are well within national standards (and even below) they are well beyond what we can hope to achieve with the funds that we have to dedicate to library services. the .5 sq. ft. standard would require over 100,000 sq. ft. of space for library services. We are currently at 14,000 sq. ft. of space, .06 sq. ft. of space per resident, and even with adding a satellite of 4,000 sq. ft. we would be at 18,000 sq. ft. total or .08 sq. ft. per resident. Additionally, our current collections is just over 82,000 volumes, the 1.2 standard would require 246,000 volumes.	Administrative Services/Parks
Policies:			

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2.16.1	Encourage inter-library loan agreements with the County library system and those of surrounding cities to provide the widest possible variety of materials to library patrons.	Inter-library loan agreements are encouraged with the County library system to provide the widest range and variety of materials possible to residents.	Administrative Services/Parks
2.16.2	Provide for the expansion of library facilities as needed to keep pace with the growing population of Moreno Valley.	Due to budgetary issues, the expansion of library facilities has not kept up with the pace of the growing population of Moreno Valley. This item can be revisited with the comprehensive update of the General Plan.	Administrative Service/Parks

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Objective 2.17	Provide cultural facilities, including history (natural, cultural and children's) and art museums and performing arts facilities.	The City collaborates with a number of cultural facilities including the Vanguard Galley (Moreno Valley Cultural Arts Foundation) to provide residents with art expos; clothing, toy, and food drives; charity art auctions; poetry readings; live music and theater events. The Conference & Recreation Center is home to the Moreno Valley Master Chorale and the Moreno Valley Community Band. Both offer performances quarterly at no cost to the community. The March Field Park Community Center is home to day camp and pre-school programs year round and is soon to be re-painted. The City's Arts commission is planning a Community Mural that will utilize volunteers to design and paint a mural on the exterior of the building depicting youth and recreation activities. On-going	Parks/Administrative Services
Policies:			
2.17.1	Promote the development and construction of a civic/cultural center and museums.	Moreno Valley has constructed the Conference and Recreation Center, Cottonwood Banquet Room, and Towngate Community Center for use as civic/cultural centers. A museum is planned at March Field Park in the future. Events at these facilities are ongoing	Parks / Administrative Services

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Objective 2.18	Promote social services programs that meet the special needs for childcare, the elderly, and the disabled.	The City offers child care, elderly, and disabled programs to the community through Community Service District funding and grants. Many of these programs are held at City buildings and schools. On-going	Parks / Administrative Services

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Policies:			
2.18.1	Ensure that a full range of human service programs are available to meet the lifetime development needs of residents of all ages, including the special needs of seniors, families, children, disabled persons, and youth groups.	<p>The City provides a range of activities to service residents of all ages.</p> <p>Youth: Sports – Flag Football, Pee-Wee and Jr Soccer and Baseball, Multi-Sport Clinics, Skateboarding, Golf and Foot golf, hiking</p> <p>Adult: Sports – Softball, Kickball, Arena Soccer, Soccer, Basketball, Skateboarding, Golf and Foot Golf, hiking, volleyball</p> <p>Life Enrichment Classes and Activities – acting, modeling, photography, writing, drawing, painting, dance, cheer, hula, martial arts, dog obedience, piano, guitar, CPR, Job Readiness Workshops, second languages, and aerobics</p> <p>Special Needs: Sunshine Social Club (physically challenged adults, professional development seminars, special transit (MoVan)</p> <p>Seniors: special transit (MoVan) , driving courses, free lunch, arts and crafts courses, fitness, bunco, billiards, guitar, special events, nutrition. All are ongoing programs.</p>	Parks/Administrative Services
2.18.2	Encourage day care through zoning regulations by permitting such facilities in all compatible zoning classifications.	The City's Parks and Community Services Department locates their facilities within it's own facilities, which are properly zoned for such use.	Parks/Administrative Services / Community Development

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2.18.3	Work closely with local schools, private companies, churches, non-profit agencies, government social service agencies, and community groups to facilitate the provision of community services.	The City works with various groups to jointly provide a multitude of services to the community. Examples of these groups include: Moreno Valley and Val Verde Unified School Districts, Salvation Army, Family Services Association, Master Chorale, Cultural Arts Foundation, Riverside University Health Systems, UC Riverside, Cal Baptist College, Friends of the Senior Center. Ongoing	Parks/Administrative Services
2.18.4	Encourage the development of senior citizens independent living and congregate care facilities in locations with convenient access to social, commercial, and medical services.	Development of senior citizen independent living and congregate care facilities are encouraged in locations convenient to social, commercial and medical services.	Administrative Services / <i>Community Development</i>
2.18.5	Promote volunteer involvement in all public programs and within the community as a whole.	The City promotes volunteer involvement through several departments and programs within the City.	Parks/Administrative Services

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9.2 Community Development Element Goals, Objectives Policies and Programs			
9.2.3 Community Development Element Programs			
2-1	Develop a community signing scheme for street corridors, public buildings and selected entrances to the community and its sub-communities.	This is completed in concert with the bi-annual City Capital Improvement Plan effort. It is implemented in conformance with existing policies and procedures for signing throughout the City, and when needed, new policies may be developed. Wayfinding signs have been installed at selected locations. Future Wayfinding signs will be installed as need arises. "Welcome to Moreno Valley" signs have been installed at selected entrance points to the City, with remaining signs to be installed as priorities and funds allow.	Planning/Public Works/Capital Projects
2-2	Review and revise the Municipal Code to implement the goals, objectives and policies stated in the General Plan.	Periodically, the Municipal Code is revised and updated to reflect General Plan goals, objectives and policies. A General Plan annual report to review current General Plan standards is also completed and submitted to the Office of Planning and Research (OPR) each year. This is a policy that is reviewed annually with periodic updates throughout the year. This is an ongoing policy.	Planning

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2-3	Conduct a detailed capital improvement program using the revised population projections and proposed land use characteristics of the General Plan.	A detailed capital improvement program is conducted annually by the Capital Projects Division of Public Works. This is an ongoing policy.	Public Works/Planning/Capital Projects
2-4	Periodically study the feasibility of extending the sphere of influence north of the city limits and annexing unincorporated areas along the city boundary.	Designated spheres of influence have been established east and north of the city limits. The City periodically studies the extension of the existing spheres of influence to the north, with the latest attempt at expansion studied with the City Council in 2016. This is an ongoing policy.	Planning
2-5	Disseminate local childcare resource information and provide referral service to residents and businesses.	Childcare resource information is provided to residents and businesses in the City. Ongoing	Planning/Administrative Services
2-6	Encourage demand-response public transportation facilities, such as the mini-bus or dial-a-ride systems in order facilitate the transportation needs of the elderly and the disabled.	This is an on-going policy. Seniors and other users are encouraged to use para transit services provided by the Riverside Transit Agency. This is consistent with Chapter 9.11.080 of the Municipal Code.	Transportation/Planning
2-7	Provide City information identifying available social services and facilities in a broad range of formats.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Any projects funded with HOME or Housing Authority funding is provided on the City's website.	Housing/Administrative Services/Planning

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2-8	Evaluate existing social programs under the City's purview, and determine if they adequately address the needs of the aged, the disabled, low-income families and persons in crisis situations.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Any projects funded with HOME or Housing Authority funding is provided at City's website.	Housing/Administrative Services/Planning
2-9	Work with other jurisdictions to seek changes in state law to allow reasonable controls on the location of community care facilities, foster homes and sober living facilities.	The City strives to work with surrounding jurisdictions and jurisdictions in California regarding state law and controls on location of community care facilities, foster homes and sober living.	Planning/Administrative Services
The City Structure Economic Development Goals and Policies			
9.3 9.3 Economic Development Element Goals, Objectives, Policies and Programs			
9.3.1 Economic Development Element Goals			
	To be inserted after development of Economic Development Strategy.	This item will be completed with the next comprehensive update to the General Plan.	Economic Development
9.3.2 Economic Development Element Policies			
	To be inserted after development of Economic Development Strategy.	This item will be completed with the next comprehensive update to the General Plan.	Economic Development
9.3.3 Economic Development Element Programs			
	To be inserted after development of Economic Development Strategy.	This item will be completed with the next comprehensive update to the General Plan.	Economic Development
The City Structure Parks, Recreation and Open Space Element Goals and Policies			
9.4 Parks, Recreation and Open Space Element Goals, Objectives, Policies and Programs			
9.4.1 Parks, Recreation and Open Space Element Goals			

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Moreno Valley General Plan
Complete list of Goals and Policies

Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Goal 4.1	To enhance Moreno Valley as a desirable place in which to live, work, shop, and do business.	The City provides numerous amenities for residents including parks, sports facilities, cultural/community centers, restaurants, stores, entertainment, and medical facilities, to promote the desirability of the City. Ongoing.	Parks / Community Services / <i>Economic Development</i>
Goal 4.2	To retain an open space system that will conserve natural resources, preserve scenic beauty, promote a healthful atmosphere, provide space for outdoor recreation, and protect the public safety.	The City promotes the preservation of it's natural resources and scenic beauty of open space, creating a healthy atmosphere for outdoor recreation and public safety, per MVMC Title 7. On-going.	Parks / Community Services / <i>Planning</i>
9.4.2 Parks, Recreation and Open Space Element Objectives and Policies			
Objective 4.1	Retain agricultural open space as long as agricultural activities can be economically conducted, and are desired by agricultural interests, and provide for an orderly transition of agricultural lands to other urban and rural uses.	The City encourages agricultural open space land as long as the activities can be economically conducted and it is an objective to provide for orderly transition of agricultural uses to other urban/rural lands. Permitted uses Table 9.02.020 in the Municipal Code allows for agricultural and crop production in all land use zones Ongoing.	Planning
Policies:			
4.1.1	Encourage grazing and crop production as a compatible part of a rural residential atmosphere.	Permitted uses Table 9.02.020 allows for agricultural and crop production in all land use zones. Ongoing.	Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Objective 4.2	Provide safe, affordable and accessible recreation facilities and programs to meet the current and future needs of Moreno Valley's various age and interest groups and promote the provision of private recreational facilities.	The City provides numerous safe, affordable, and accessible recreation facilities to meet the various needs or multiple age and interest groups. There are currently 4 community centers and 28 public parks that have recreation amenities. Ongoing.	Parks / Community Services
Policies:			
4.2.1	Neighborhood parks shall serve as the day-to-day recreational areas of the City, Neighborhood parks should be within a reasonable walking distance of the population served. Community parks may also serve day-to-day recreation needs. That portion of the community and/or regional facilities that provide similar amenities to those found in neighborhood parks shall also be considered as meeting this objective.	Neighborhood parks are designed and constructed to be located within a reasonable distance of the population they are intended to serve. Community parks are designed and constructed to include similar amenities as neighborhood parks to meet the objective of a neighborhood park. On-going.	Parks / Community Services
4.2.2	Community parks shall provide opportunities for participation in sports and related athletic activities, water-oriented recreation and other special interest activities (e.g. golf, tennis, equestrian, etc.).	Community parks provide opportunities for a variety of athletic activities. Examples of these include: Cottonwood Golf Center, Moreno Valley Equestrian Center, March Field Skate Park, tennis courts at three sites, basketball courts at several sites, and splash pads in two parks. Ongoing.	Parks / Community Services

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4.2.3	Employ a multifaceted approach in the financing and acquisition, development and maintenance of parkland, including the financing of parklands through development fees, state and federal grant-in-aid programs, gifts and donations, and other sources.	<p>Moreno Valley utilizes development impact fees, Quimby in lieu fees, Community Facilities and Services Districts, and various grants, to finance acquisition, development, and maintenance of parks and parkland.</p> <p>"Zone A was formed at City incorporation to provide a funding mechanism for parks and community services. Every parcel in the City contributes to Zone A. CFD No. 1 (Park Maintenance) was established on July 8, 2003. The District was formed to provide financing tool for the residential development community. It provides a mechanism to fund the operation and maintenance of parks constructed after district formation. All new residential development is conditioned to contribute to the District.</p> <p>Willdan Financial has been engaged to evaluate possible amendment to CFD No. 1 or creation of a new CFD to provide for a tax rate layer for non-residential development "</p>	Parks / Community Services

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4.2.4	Encourage special events (tournaments, festivals, celebrations) that reflect the uniqueness of Moreno Valley and contribute to community identity, cohesiveness and stability.	Moreno Valley encourages and hosts several special events, which some are unique to the City. In order to bring together it's residents. Examples are: 4th of July Independence Parade and Family Fun Fest, Youth Fest, Springtastic Festival and Egg Hunt, Recreation Expo, Concerts/Movies in the Parks, Snow Day and Holiday Tree Lighting. Ongoing.	Parks / Community Services
4.2.5	Work in conjunction with private and public school districts and other public agencies to facilitate the public use of school grounds and facilities for recreational activities. The City shall also encourage the development of park sites adjacent to school facilities to maximize recreational opportunities in <u>Moreno Valley</u>	The City has joint-use agreements with the school districts for use of recreation facilities. The City encourages new developments to construct parks next to schools to maximize recreational opportunities in the City. Ongoing.	Parks / Community Services
4.2.6	The City shall use cost effectiveness, demand and need for service and potential return on investment as criteria for the development and operation of future recreational facilities and programs.	The City Council sets activities/program fees. Typically, senior programs are no-cost and youth and adult fees are cost recovery. Sponsorships are utilized to off-set costs. Ongoing.	Parks / Community Services

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4.2.7	The City level of service standard is 3 acres of developed parkland for every 1,000 new residents. Exceptions from this ratio may be made in exchange for extraordinary amenities of comparable economic value. Land not suitable for active recreation purposes may not be counted toward fulfilling parkland dedication requirements.	The City's standard for developed parkland is 3 acres per 1,000 new residents. In some areas, this ratio has been reduced due to the City receiving added amenities that are equal to or exceed the value of property. The City does not take on new property not suitable for active recreation purposes as fulfillment for parkland dedication requirements. MVMC Chapter 3.4. (Ongoing).	Parks / Community Services
4.2.8	Encourage the development of recreational facilities within private developments, with appropriate mechanisms to ensure that such facilities are properly maintained and that they remain available to residents in perpetuity.	The Planning Division encourages development of recreational facilities within private developments, with facility maintenance provided through required Covenants, Conditions and Restrictions (CC&R's) and through a Homeowners Association.	Planning
4.2.9	In conjunction with the school districts, civic organizations, and other private, civic-minded entities, encourage and participate in the provision of organized recreational activities for Moreno Valley residents of all ages.	The City has many programs that incorporate organized recreation activities for schools, civic organizations, and private civic-minded entities. These are designed to encourage participation in organized recreational activities for resident of all ages.	Parks / Community Services

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4.2.10	Involve individuals and citizen groups reflecting a cross section of Moreno Valley citizens (including youth and adults) in the planning, design and maintenance of parks, recreation facilities and recreation programs.	The City has established a Park and Trail adoption system for individuals and groups to assist with the maintenance of parks and trails. City has several boards and commissions that assist with the planning and design of recreation facilities, parks, and trails. Ongoing	Parks / Community Services
4.2.11	Emphasize joint planning and cooperation with all public agencies as the preferred approach to meeting the parks and program needs of Moreno Valley citizens.	Moreno Valley jointly plans and cooperates with the local fire department, police department, and water district, in its approach to meet the needs of citizens. Ongoing	Parks / Community Services
4.2.12	Include multi-functional spaces and facilities in parks to facilitate cultural events.	Moreno Valley utilizes parks and the Conference and Recreation Center to facilitate cultural events such as: movies and concerts in the park; Artoberfest (art displays and performances); and various heritage related events.	Parks / Community Services
4.2.13	Provide recreation programs and access to facilities at reasonable costs.	The City provides many recreation programs and access to facility access at a reasonable cost. A few examples are: the Cottonwood Golf Center, Conference and Recreation Center gym, and Tee-ball. Ongoing	Parks / Community Services
4.2.14	Establish linear parks in agreement with public and private utilities, including the State of California along the California Aqueduct, for the use and maintenance of utility corridors and rights-of-way for recreational purposes.	The City currently has agreements with the State Department of Water Resources for use of land over the California Aqueduct pipeline and Edison for the Sunnymead Ranch Linear Park. Ongoing	Parks / Community Services

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4.2.15	Work closely with Riverside County Parks Department in its open space program to ensure that trail systems within Moreno Valley effectively link open space components.	The City requires developers that are located on Riverside County boundaries to coordinate their trail plans with the County Parks. (On-going) "Zone A was formed at City incorporation to provide a funding mechanism for parks and community services. Every parcel in the City contributes to Zone A. CFD No. 1 (Park Maintenance) was established on July 8, 2003. The District was formed to provide financing tool for the residential development community. It provides a mechanism to fund the operation and maintenance of parks constructed after district formation. All new residential development is conditioned to contribute to the District.	Parks / Community Services
4.2.16	Acquire land jointly with the local school districts for future school/park sites.	The City makes every effort to coordinate placing parks next to schools. An example of an undeveloped park next to a school is adjacent to March Middle School. Through a joint-use agreement the City had two lighted ball fields constructed on the school and will have a developer dedicated and construct a park adjacent to the school. On-going	Parks / Community Services

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4.2.17	Require new development to contribute to the park needs of the City.	New development is required to provide fully functioning parks or a in-lieu fee for future construction of parks.	Parks / Community Services
4.2.18	Provide lighted sports fields to increase availability and utilization of courts and playing field facilities.	Where funding allows, the City has added or revamped lighting of sport facilities. Added/revamped facilities include Lassalle Sports Park and Morrison Park. Ongoing	Parks / Community Services
Objective 4.3	Develop a hierarchical system of trails which contribute to environmental quality and energy conservation by providing alternatives to motorized vehicular travel and opportunities for recreational equestrian riding, bicycle riding, and hiking, and that connects with major regional trail systems.	The City has a master plan of multi-use trails and non-motorized bike trails throughout the City. They are designed to connect to trails and adjacent agencies. The trail plan is reviewed with each development annexing the City, each development building in the City, and on a yearly basis. Ongoing	Parks / Community Services

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Policies:			
4.3.1	The City's network of multiuse trails, including regional trails, community trails, and local feeder trails, shall (1) be integrated with recreational, residential and commercial areas, schools and equestrian centers; (2) provide access to community resources and facilities, and (3) connect urban populations with passage to hillsides, ridgelines, and other scenic areas.	Per the Master Plan of Trails and the General Plan, trails are incorporated into parks, residential, commercial, and industrial developments. In many instances, trails provide access to facilities and other community resources. Trails are designed to connect to scenic areas. Ongoing	Parks / Community Services
4.3.2	The City shall establish an agreement with public and private utilities for the use and maintenance of utility corridors and rights-of-way for trail purposes.	The City has several agreements with both public and private utilities for the design, construction, and maintenance of trails. Examples of these include the California Department of Water Resources, The Gas Company, and Southern California Edison. Ongoing	Parks / Community Services
4.3.3	All new development approvals shall be contingent on trail right-of-way dedication and improvement in accordance with the Master Plan of Trails (Figure 4-5).	In adherence to the Master Plan of Trails, the City may require fee or easement dedication for trails. New developments that annex to the City may be required to provide similar amenities. On-going	Parks / Community Services
4.3.4	In conjunction with all development review, the City shall consider multiuse trail access and traditional travel routes through the property.	Per the Master Plan of Trails and the General Plan, trails are incorporated into many developments adjacent to traditional travel routes (streets and sidewalks). On-going	Parks / Community Services
4.3.5	In conjunction with the review and approval of nonresidential developments, the City should consider the use of multiuse trail amenities such as hitching posts, benches, rest areas, and drinking facilities.	In adherence to the Master Plan of Trails, the City may require trails and related amenities within nonresidential development.	Parks / Community Services

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4.3.6	Wherever possible, development of residential areas conditioned for animal keeping on lots of ½ acre or larger, shall include a decomposed granite trail on one side of the street and traditional concrete sidewalk on the other.	Where applicable, feeder trails are conditioned for residential developments that allow animal keeping. The standard is to have a trail on one side of the street and a traditional sidewalk on the other. On-going	Parks / Community Services
4.3.7	Trail design and construction should take into consideration the safety and convenience of all trail users as the primary concern.	User safety and convenience are the upmost concern in the planning and construction of multi-use trails. On-going	Parks / Community Services
4.3.8	The City should facilitate the development of a multiuse regional trail system.	The City has been working with the County of Riverside and Lake Perris State Park to coordinate trail systems. On-going	Parks / Community Services
4.3.9	Unless otherwise specified due to fire department requirements, access or as established by a specific plan, city trails along roadways shall be ten (10) feet wide and shall be constructed with decomposed granite or equal material and shall provide appropriate fencing or other devices where needed to delineate trails from vehicular rights-of-way.	Multi-use trails where located adjacent or near roadways are designed to have a minimum flat surface of ten (10) foot in width, with a 2% cross-slope. Trails are delineated from vehicular traffic by means of fencing and or shrubbery. Trail surfaces are stabilized granite with a minimum thickness of four (4) inches.	Parks / Community Services
4.3.10	Where firefighting access is required, trails shall be 20' wide to meet the needs of the Fire Department and its equipment. Fire Department requirements shall be met in all conditions where access is required.	Where fire access and a trail is required, the minimum width of the trail shall be 20', to accommodate fire equipment and staging. On-going	Parks / Community Services

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4.3.11	In unusual situations where legal or topographical barriers exist (e.g., excessive slope, the configuration of right-of-way, existing vegetation, etc.), the City shall have the discretion to amend the trail requirement as needed to accomplish the goals of this General Plan.	The City makes amendments to specific trail locations, based on various topographical barriers. This is done to create a trail system that can be utilized by the majority of citizens, without inconvenience to residents. On-going	Parks / Community Services
4.3.12	Local feeder trails shall connect residential lots in property zoned for horse keeping to the community trail system.	Where appropriate zoning exists, the City requires developers to install Feeder Trails that connect residential lots to the City's Trail System. On-going	Parks / Community Services
4.3.13	The City will encourage volunteer programs for the improvement of existing trails for the purpose of providing an integrated trail network that is safe, functional and readily accessible.	The City encourages volunteers for it's Adopt a Trail Program, to maintain safe, functional, and accessible trails. To date, individuals to civic organizations have become volunteers. This is an on-going program.	Parks / Community Services
4.3.14	Where feasible, use drainage courses, utility rights-of-way and other such opportunities to incorporate trail and open space elements in the design of major development projects.	The City evaluates developer projects to maximize the undeveloped space for use with trails, passive parks, and open space. Ongoing	Parks / Community Services
4.3.15	Utilize the Citizen's Advisory Board on Recreational Trails in making recommendations to City Council for the distribution of funds for the construction of new trails.	When funds are available, the Recreation Trails Board would be recommending body to City Council for distribution of funds to construct new trails. Ongoing	Parks / Community Services
9.4.3 Parks, Recreation and Open Space Element Programs			
Programs:			

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
4-1	Develop a parks and recreation facilities master plan to implement the Parks and Recreation Element.	In 2012 the City developed a Parks Master Plan, to outline the current recreational facilities, as well to identify the deficiencies. The master plan is a living document, to be updated periodically.	Parks / Community Services
4-2	Develop policies and criteria for the establishment of trails and rest/picnic areas in natural open space areas.	The City has developed policies and criteria for the establishment of trails and rest stops in open space areas. Ongoing	Parks / Community Services
4-3	Set policies and criteria for the establishment of greenbelt standards and design guidelines to allow flexibility in design of greenbelt/parks/open spaces areas within new development as long as non-auto circulation corridors (for equestrians, bicycles, pedestrians, etc.) are provided and the overall dedication requirement for greenbelt and park facilities is met.	The City has set policies and criteria for the design and construction of greenbelts, parks, and open space. Several provide for the use of equestrians, bicycles, and pedestrians. These uses have become dedication requirements. Reviews of standards and design are under review every one to two years.	Parks / Community Services
4-4	Explore the feasibility of requiring new development to provide a percentage of the development in greenbelt area.	New developments are examined for possible greenbelts. Many of these developments are required to construct these greenbelts for the resident's use.	Parks / Community Services

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4-5	Provide on-going opportunities for public involvement and input into the park planning process.	The public is involved in assessing the current and future needs of park amenities. Some of this is done through committees/boards/commissions and some it through community meetings. On-going	Parks / Community Services
4-6	Maintain advisory committees, such as the Parks and Recreation Advisory Committee, created by City Council in 1988, to serve in an advisory capacity on parks and recreation issues.	The City Parks and Community Services Departments maintains commissions/boards such as the Parks and Recreation Commission, Senior Advisory Board, Recreational Trails Board, various sports groups, and the Arts Commission.	Parks / Community Services
4-7	Work with coalitions of sports organizations to define mutually compatible facility needs and mechanisms for the development, construction, operation and maintenance of these facilities.	The City consistently meets with various sports groups to discuss facilities and their needs. The City utilizes this information to design and construct new facilities as well as modify existing facilities. Ongoing.	Parks / Community Services
4-8	Investigate the feasibility of establishing a non-profit foundation to seek and receive donations from private sources for the support of Parks and Recreation programs and facilities.	The City's Library currently has a foundation for capital improvements. This foundation can be expanded upon to include various parks commissions/boards for specific programs. However, this must be approved by the IRS, so it does not jeopardize the City's tax exempt status. This program needs more investigation for additional uses. Ongoing.	Parks / Community Services

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4-9	Acquire land and develop neighborhood and community parks in the "Recommended Future Parkland Acquisition Areas" shown in Figure 4-4.	Figure 4-4 was not provided in the 2006 General Plan. This item will need to be removed or updated with the next comprehensive General Plan update.	Parks / Community Services
4-10	Prepare a comprehensive plan of trails that clearly defines the routing of city trails and is part of the General Plan.	During the last General Plan update a comprehensive master plan of trails was adopted, which defines locations for city trails.	Parks / Community Services
4-11	Develop policies and criteria for the establishment of multiuse trails and rest/picnic areas in natural open space areas.	The City has developed policies and criteria for the establishment of trails and rest stops in open space areas. On-going. This is a duplicate of Policy 4.2, and shall be removed during the next comprehensive General Plan Update.	Parks / Community Services
4-12	Periodically review the Master Plan of Trails to show existing and planned trails.	The Master Plan of Trails is periodically reviewed, adding newly constructed trails to the plan. Ongoing with yearly reviews.	Parks / Community Services
4-13	Enact ordinances requiring developers to incorporate trail corridors into their development plans in accordance with the Master Plan of Trails.	Ordinance 359 (1992) provides for recreational facilities for trails per the Master Plan of Trails.	Parks / Community Services
4-14	Develop standards for residential feeder trails to guide developers in locating and constructing trails and for the arrangement of on-going maintenance requirements of the trails.	The City has developed construction standards for residential feeder trails to guide developers in locating feeder trails, as well as requirement for the development to establish a funding mechanism to maintain these trails. On-going program	Parks / Community Services

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4-15	Establish a fee system for the equitable distribution of the cost of developing and maintaining trails citywide.	<p>The City has established a Community Facilities District to pay for the cost of developing and maintaining trails. (On-going program.) Zone A was formed at City incorporation to provide a funding mechanism for parks and community services. Every parcel in the City contributes to Zone A. CFD No. 1 (Park Maintenance) was established on July 8, 2003. The District was formed to provide financing tool for the residential development community. It provides a mechanism to fund the operation and maintenance of parks constructed after district formation. All new residential development is conditioned to contribute to the District.</p> <p>Willdan Financial has been engaged to evaluate possible amendment to CFD No. 1 or creation of a new CFD to provide for a tax rate layer for non-residential development</p>	Parks / Community Services
4-16	Investigate the feasibility of creating a special district(s) for the purpose of acquiring and managing open space and trails.	Currently, the City has a special district to manage trails. However, it has been the responsibility of developer associations to acquire and maintain open space.	Parks / Community Services

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4-17	Seek out and apply for grants sponsored by state and federal agencies, such as the Recreational Trails Program administered by the Federal Highways Administration and the State Department of Parks and Recreation.	The City applies for several grants for trails, if the qualifications are met. On-going program	Parks / Community Services
The City Structure Circulation Element Goals, Objectives, Policies, and Programs			
9.5 Circulation Element Goals, Objectives, Policies, and Programs			
9.5.1 Circulation Element Goals			
Goal 5.1	Develop a safe, efficient, environmentally and financially sound, integrated vehicular circulation system consistent with the City General Plan Circulation Element Map, Figure 9-1, which provides access to development and supports mobility requirements of the system's users.	This is an on-going goal. It is accomplished through provisions of Titles 9 and 12 of the Municipal Code.	Transportation
Goal 5.2	Maintain safe and adequate pedestrian, bicycle, and public transportation systems to provide alternatives to single occupant vehicular travel and to support planned land uses.	This is an on-going goal. It is accomplished through provisions of Titles 9 and 12 of the Municipal Code.	Transportation
9.5.2 Circulation Element Objectives and Goals			
Objective 5.1	Create a safe, efficient and neighborhood- friendly street system.	This is an on-going objective. It is accomplished in accordance with Titles 9 and 12 of the Municipal Code.	Transportation
Policies:			
5.1.1	Plan access and circulation of each development project to accommodate vehicles (including emergency vehicles and trash trucks), pedestrians, and bicycles.	This is an on-going policy. It is implemented in accordance with Title 9 of the Municipal Code.	Transportation
5.1.2	Plan the circulation system to reduce conflicts between vehicular, pedestrian and bicycle traffic.	This is an on-going policy. It is implemented in accordance with Titles 9 and 12 of the Municipal Code.	Transportation
5.1.3	Require adequate off-street parking for all developments.	This is an on-going policy. It is implemented in accordance with Chapter 9.11 of the Municipal Code.	Transportation

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5.1.4	Driveway placement shall be designed for safety and to enhance circulation wherever possible.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.1.5	Incorporate American Disability Act (ADA) and Title 24 requirements in roadway improvements as appropriate.	This is an on-going policy. It is implemented in accordance with Chapter 9 of the Municipal Code.	Transportation
5.1.6	Design new developments to provide opportunity for access and circulation to future adjacent developments.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
Objective 5.2	Implement access management policies.	This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
Policies:			
5.2.1	Locate residential units with access from local streets. Minimize direct residential access from collectors. Prohibit direct single-family driveway access on arterials and higher classification roadways.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.2.2	Feed short local streets into collectors.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.2.3	Encourage the incorporation of traffic calming design into local and collector streets to promote safe vehicle speeds.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 and Title 12 of the Municipal Code.	Transportation

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5.2.4	Design new subdivisions to minimize the disruptive impact of motor vehicles on local streets. Long, broad and linear streets should be avoided. Residential streets should be no wider than 40 feet, and should have an uninterrupted length of less than one half mile. Curvilinear streets and cul-de-sacs are preferred. Streets within the subdivision should be designed to facilitate access to residences and to discourage through traffic.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
Objective 5.3	Maintain Level of Service (LOS) "C" on roadway links, wherever possible, and LOS "D" in the vicinity of SR 60 and high employment centers. Figure 9-2 depicts the LOS standards that are applicable to all segments of the General Plan Circulation Element Map.	This is an on-going objective. It is implemented in accordance with Title 9 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update.	Transportation
Policies:			
5.3.1	Obtain right-of-way and construct roadways in accordance with the designations shown on the General Plan Circulation Element Map and the City street improvement standards.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.3.2	Wherever feasible, promote the development of roadways in accordance with the City standard roadway cross-sections, as shown in Figure 9-3. Cross-sections range from two-lane undivided roadways to 8-lane divided facilities.	This is an on-going policy. It is implemented in accordance with Chapters 9.14.100 of the Municipal Code.	Transportation

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5.3.3	Create new roadway classifications to accommodate future traffic demand, including: Divided Major Arterial - Reduced Cross-Section, and Divided Arterial - 6-lane. These cross-sections are shown on Figure 9-3.	This is an on-going policy. It is implemented in accordance with Chapter 9.14.100 of the Municipal Code.	Transportation
5.3.4	For planning purposes, utilize LOS standards shown on Table 5 -1 to determine recommended roadway widths.	This is an on-going policy. It is implemented in accordance with Title 9 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update.	Transportation
5.3.5	Ensure that new development pays a fair share of costs to provide local and regional transportation improvements and to mitigate cumulative traffic impacts. For this purpose, require new developments to participate in Transportation Uniform Mitigation Fee Program (TUMF), the Development Impact Fee Program (DIF) and any other applicable transportation fee programs and benefit assessment districts.	This is an on-going policy. It is implemented in accordance with Title 3 of the Municipal Code.	Transportation
5.3.6	Where new developments would increase traffic flows beyond the LOS C (or LOS D, where applicable), require appropriate and feasible mitigation measures as a condition of approval. Such measures may include extra right-of-way and improvements to accommodate left-turn and right-turn lanes at intersections, or other improvements.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
5.3.7	Provide consideration to projects that have overriding regional or local benefits that would be desirable even though the LOS standards cannot be met. These projects would be required to analyze traffic impacts and mitigate such impacts to the extent that it is deemed feasible.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.3.8	Pursue arterial improvements that link and/or cross the State route 60 (SR-60) Freeway, including an additional over-crossing at Graham Street.	This is an on-going policy. An additional over-crossing at Graham Street is shown as Initiative 4.6.4 of the City's Strategic Plan.	Transportation
5.3.9	Address additional widenings at arterials providing access to SR-60 at Day Street, Frederick Street/Pigeon Pass road and Perris Boulevard.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update.	Transportation
Objective 5.4	Maximize efficiency of the regional circulation system through close coordination with state and regional agencies and implementation of regional transportation policies.	This is an on-going objective. The City works closely with all state and regional agencies to enhance the efficiency of the regional circulation system.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Policies:			
5.4.1	Coordinate with Caltrans and the Riverside County Transportation Commission (RCTC) to identify and protect ultimate rights-of-way, including those for freeways, regional arterial projects, transit, bikeways and interchange expansion.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update.	Transportation
5.4.2	Coordinate with Caltrans and RCTC regarding the integration of Intelligent Transportation Systems (ITS) consistent with the principles and recommendations of the Inland Empire Regional ITS Architecture Project.	This is an on-going policy. It is implemented in accordance with the City's ITS Master Plan.	Transportation
5.4.3	Work with property owners, in cooperation with RCTC, to reserve rights-of-way for potential Community and Environmental Transportation Acceptability Process (CETAP) corridors through site design, dedication, and land acquisition, as appropriate.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update.	Transportation
5.4.4	The City Council will commit to establishing ongoing relationships with all agencies that play a role in the development of the City's transportation system. Council members who are appointed to these agencies as City representatives shall seek out leadership roles to maximize their effectiveness on behalf of the City. Council will strive to maintain continuity in their appointments of representatives to promote effective representation.	This is an on-going policy. The Administrative Codes for various regional agencies define the requirements for elected officials to be represented on their Executive Boards.	Transportation

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5.4.5	Work with RCTC, WRCOG, and the TUMF Central Zone Committee to facilitate the expeditious construction of TUMF Network projects, especially projects that directly benefit Moreno Valley.	This is an on-going policy. The City has designated certain Public Works staff to represent Moreno Valley interests at various Technical Advisory meetings.	Transportation
5.4.6	Cooperatively participate with SCAG, RCTC, and WRCOG in the planning for a transportation system that anticipates regional needs for the safe and efficient movement of goods and people.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update.	Transportation
5.4.7	Utilizing a combination of regional, state and federal funds, development impact fees, and other locally generated funds, provide needed improvements along SR 60 and the associated interchanges, including interchange and grade separation improvements.	This is an on-going policy. It is implemented in accordance with Chapters 3.44 and 9.11.080 of the Municipal Code.	Transportation
5.4.8	Reserve rights-of-way to accomplish future improvements as specified in the Caltrans District 8 Route Concept Fact Sheet for SR-60. Specifically, SR-60 shall be built to six general purpose lanes and two High Occupancy Vehicle (HOV) lanes through Moreno Valley. Additional auxiliary lanes may be required between interchanges. The need for auxiliary lanes will be determined from future studies.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update.	Transportation
5.4.9	Lobby the State Legislature to keep triple trailer trucks off highways in developed areas of California.	This policy is out of date. Staff does not actively lobby against triple trailer trucks off highways.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Objective 5.5	Maximize efficiency of the local circulation system by using appropriate policies and standards to design, locate and size roadways.	This is an on-going objective primarily accomplished through provisions in Chapter 9.11.080 of the Municipal Code.	Transportation
Policies:			
5.5.1	Space Collectors between higher classification roadways within development areas at appropriate one-quarter mile intervals.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.2	Provide dedicated left-turn lanes at all major intersections on minor arterials and higher classification roadways.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.3	Prohibit points of access from conflicting with other existing or planned access points. Require points of access to roadways to be separated sufficiently to maintain capacity, efficiency, and safety of the traffic flow.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.4	Wherever possible, minimize the frequency of access points along streets by the consolidation of access points between adjacent properties on all circulation element streets, excluding collectors.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.5	Design streets and intersections in accordance with the Moreno Valley Municipal Code.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.6	Consider the overall safety, efficiency and capacity of street designs as more important than the location of on-street parking.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
5.5.7	For developments fronting both sides of a street, require that streets be constructed to full width. Where new developments front only one side of a street, require that streets be constructed to half width plus an additional 12-foot lane for opposing traffic, whenever possible. Additional width may be needed for medians or left and/or right turn lanes.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.8	Whenever possible, require private and public land developments to provide on-site and off-site improvements necessary to mitigate any development-generated circulation impacts. A review of each proposed land development project shall be undertaken to identify project impacts to the circulation system. The City may require developers to provide traffic impact studies prepared by qualified professionals to identify the impacts of a development.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.9	Design curves and grades to permit safe movement of vehicular traffic per applicable Caltrans and Moreno Valley standards.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.10	Provide adequate sight distances for safe vehicular movement at all intersections and driveways.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.5.11	Implement National Pollutant Discharge Elimination System Best Management Practices relating to construction of roadways to control runoff contamination from affecting water resources.	The National Pollutant Discharge Elimination System Best Management Practices are required for projects relating to the construction of roadways, to control runoff contamination from impacting water resources (ongoing).	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Objective 5.6	Support development of a ground access system to March Inland Port in accordance with its development plan as a major cargo airport.	This is an on-going objective. The City works closely with the March Joint Powers Authority in implementing strategies / development in support of a major cargo airport.	Transportation
Policies:			
5.6.1	Ensure that City arterials that provide access to and from March Inland Port are properly designed to accommodate projected traffic volumes, including truck traffic.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.6.2	Ensure that traffic routes to March Inland Port are planned to minimize impacts to City residential communities.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
Objective 5.7	Design roads to meet the needs of the residents of the community without detracting from the "rural" atmosphere in designated portions of Moreno Valley. (Designated "rural" areas include those encompassed by the Residential Agriculture 2, Residential 1, Rural Residential and Hillside Residential zoning districts. "Urban" areas encompass all other zoning districts.)	This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
Policies:			
5.7.1	Pursue development of modified sidewalk standards for local and collector roads within low density areas to reflect the rural character of those areas.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.7.2	Provide sidewalks on arterials in designated low density areas that provide access to schools and bus stops.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
Objective 5.8	Encourage development of an efficient public transportation system for the entire community.	This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation

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Policies:			
5.8.1	Support the development of high-speed transit linkages, or express routes, that would benefit the citizens and employers of Moreno Valley.	This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of Bus Rapid Transit routes as developed in the RTA Comprehensive Operational Analysis (COA).	Transportation
5.8.2	Support the efforts of the March Joint Powers Authority in its pursuit of a Transit Center.	This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA).	Transportation
5.8.3	Encourage public transportation opportunities that address the particular needs of transit dependent individuals in the City such as senior citizens, the disabled and low -income residents.	This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA).	Transportation
5.8.4	Ensure that all new developments make adequate provision for bus stops and turnout areas for both public transit and school bus service.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5.8.5	Continue on-going coordination with transit authorities toward the expansion of transit facilities into newly developed areas.	This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA).	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Objective 5.9	Support and encourage development of safe, efficient and aesthetic pedestrian facilities.	This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
Policies:			
5.9.1	<p>Encourage walking as an alternative to single occupancy vehicle travel, and help ensure the safety of the pedestrian as follows:</p> <p>(a) All new developments shall provide sidewalks in conformance with the City’s streets cross-section standards, and applicable policies for designated urban and rural areas.</p> <p>(b) The City shall actively pursue funding for the infill of sidewalks in developed areas. The highest priority shall be to provide sidewalks on designated school routes.</p>	This is an on-going policy. It is implemented in accordance with Chapter 9.11.100 of the Municipal Code.	Transportation
5.9.2	Walkways shall be designed to minimize conflicts between vehicles and pedestrians.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.100 of the Municipal Code.	Transportation
5.9.3	Where appropriate, provide amenities such as, but not limited to, enhanced paving, seating, and landscaping to enhance the pedestrian experience.	This is an on-going policy. New development is reviewed and conditioned to provide pedestrian friendly infrastructure in accordance with 9.11.100 of the Municipal Code.	Transportation
5.9.4	Require the provision of convenient and safe pedestrian access to buildings from the public sidewalk.	This is an on-going policy. It is implemented in accordance with Chapter 9.11.100 of the Municipal Code.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Objective 5.10	Encourage bicycling as an alternative to single occupant vehicle travel for the purpose of reducing fuel consumption, traffic congestion, and air pollution. The Moreno Bikeway Plan is shown in Figure 9-4.	This is an on-going objective. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan.	Transportation
Policies:			
5.10.1	Bikeways shall link residential neighborhood areas with parks, employment centers, civic and commercial areas, and schools.	This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan.	Transportation
5.10.2	Integrate bikeways, consistent with the Bikeway Plan, with the circulation system and maintain Class II and III bikeways as part of the City's street system.	This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan.	Transportation
5.10.3	Support bicycle safety programs, and active enforcement of laws relating to the safe operation of bicycles on City streets.	This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan.	Transportation
5.10.4	Link local bikeways with existing and planned regional bikeways.	This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan.	Transportation
Objective 5.11	Eliminate obstructions that impede safe movement of vehicles, bicyclists, and pedestrians.	This is an on-going objective. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Policies:			
5.11.1	<p>Landscaping adjacent to City streets, sidewalks and bikeways shall be designed, installed and maintained so as not to physically or visually impede public use of these facilities.</p> <p>(a) The removal or relocation of mature trees, street trees and landscaping may be necessary to construct safe pedestrian, bicycle and street facilities.</p> <p>(b) New landscaping, especially street trees shall be planted in such a manner to avoid overhang into streets, obstruction of traffic control devices or sight distances, or creation of other safety hazards.</p>	<p>This is an on-going program. Transportation Engineering works closely with Special Districts to ensure existing and proposed landscaping does not interfere with traffic control devices or pose any problems for pedestrians and cyclists.</p>	Transportation
5.11.2	<p>Driveways shall be designed to avoid conflicts with pedestrian and bicycle travel.</p>	<p>This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.</p>	Transportation
Objective 5.12	<p>Promote efficient circulation planning for all school sites that will maximize pedestrian safety, and minimize traffic congestion and neighborhood impacts.</p>	<p>This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.</p>	Transportation
Policies:			
5.12.1	<p>Coordinate with school districts to identify suggested pedestrian routes within existing and new subdivisions for school children to walk to and from schools and/or bus stops.</p>	<p>This is an on-going policy. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts.</p>	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
9.5.3 Circulation Element Programs			
Programs:			Transportation
5-1	Periodically review current traffic volumes, traffic collision data, and the pattern of urban development to coordinate, program, and as necessary revise the planning and prioritization of road improvements.	This is an on-going program. It is implemented in accordance with Title 12 of the Municipal Code.	Transportation
5-2	Periodically, reassess the goals, objectives and policies statements of the Circulation Element and propose amendments, as necessary.	This is an on-going program. A comprehensive review of the Circulation Element will be performed with the next update of the General Plan.	Transportation
5-3	Develop a comprehensive strategy to ensure full funding of the circulation system. The strategy will include the DIF, TUMF, and other funding sources that may be available to the City. In addition, the creation of benefit assessment districts, and road and bridge fee districts may be considered where appropriate.	This is an on-going policy. It is implemented in accordance with Title 3 of the Municipal Code.	Transportation
5-4	Develop a multi-year transportation infrastructure improvement program that, to the extent feasible, phases the construction of new projects in advance of new development.	This is a bi-annual City Capital Improvement Plan effort. It is implemented in accordance with the City's bi-annual budget process.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
5-5	The above referenced program will prioritize circulation improvement projects to be funded from DIF, TUMF and other sources. Prioritization to consider the following factors: (a) Traffic safety; (b) Congestion relief; (c) Access to new development; (d) Equitable benefit.	This is a bi-annual City Capital Improvement Plan effort. It is implemented in accordance with the City's bi-annual budget process.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
5-6	<p>Conduct studies of specified arterial segments to determine if any additional improvements will be needed to maintain an acceptable LOS at General Plan build-out. Generally, these segments will be studied as new developments are proposed in their vicinity. Measures will be identified that are consistent with the Circulation Element designation of these roadway segments, such as additional turn lanes at intersections, signal optimization by coordination and enhanced phasing, and travel demand management measures.</p> <p>The study of specified arterial segments will be required to identify measures to maintain an acceptable LOS at General Plan build-out for at least one of the reasons discussed below:</p> <p>(a) Segments will need improvement, but their ultimate volumes slightly exceed design capabilities. (b) Segments will need improvements but require inter-jurisdictional coordination. (c) Segments would require significant encroachment on existing adjacent development if built-out to their Circulation Element designations.</p>	<p>This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. The Circulation Element will undergo an extensive analysis with the next update of the General Plan.</p>	<p>Transportation</p>

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
5-7	Establish traffic study guidelines to deal with development projects in a consistent manner. The traffic study guidelines shall include criteria for projects that propose changes it the approved General Plan land uses.	This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. Traffic study guidelines will be modified with the next update of the General Plan to ensure compliance with SB 743.	Transportation
5-8	Develop access guidelines for arterials with commercial frontage to facilitate access to development and preservation of safe flow of traffic. A component of guidelines shall address shared access.	This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5-9	Collaborate with all adjacent jurisdictions to implement and integrate right-of-way requirements and improvement standards for General Plan roads that cross-jurisdictional boundary.	This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
5-10	<p>Support regional projects that improve access to Moreno Valley. Examples of specific ongoing projects that should be supported include:</p> <ul style="list-style-type: none"> (a) CETAP Cajalco alignment and extension to State Route 241 in Orange County; (b) CETAP Moreno Valley to San Bernardino alternative alignments including Reche Canyon Road / Reche Vista Road alignment and the Pigeon Pass Road to Pepper Avenue alignment; (c) TUMF Backbone Network projects to widen Alessandro Boulevard and Van Buren Boulevard; (d) Measure A projects to widen SR-60 through the Badlands, widen Interstate 215 (I-215) from Riverside interchange to Interstate 10, and extension of San Jacinto commuter rail line; (e) Construction of commuter rail stations in Highgrove, and at the intersection of Alessandro at I-215; (f) Construction of HOV ramp connector from westbound SR-60 to south bound I-215; (g) Widen SR-60/I-215 from Moreno Valley interchange to Riverside interchange. 	<p>This is an on-going program. The City has designated certain Public Works staff to represent Moreno Valley interests at various Technical Advisory meetings.</p>	Transportation
5-11	<p>Work with RCTC, Caltrans, County of Riverside, adjacent jurisdictions and other affected agencies to plan and develop a multi-modal transportation system.</p>	<p>This is an on-going program. The City works closely with regional partners in the development of a circulation system that supports all modes of transportation.</p>	Transportation

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5-12	Coordinate with Caltrans to redesign and reconstruct the SR-60 interchanges with Day Street, Perris Boulevard, Nason Street, Moreno Beach Drive, Redlands Boulevard, Theodore Street and Gilman Springs Road.	This is completed in concert with the bi-annual City Capital Improvement Plan effort. It is implemented in accordance with the City's bi-annual budget process and Riverside County's bi-annual Federal Transportation Improvement Plan (FTIP) process. Nason Street interchange is complete	Transportation
5-13	Implement Transportation demand management (TDM) strategies that reduce congestion in the peak travel hours. Examples include carpooling, telecommuting, and flexible work hours.	This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code.	Transportation
5-14	Implement programs in support of the efforts of Riverside Transit Agency toward the expansion of the existing bus system within the City and the provision of future public transportation consistent with the Riverside County Transit Plan.	This is an on-going program. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA).	Transportation
5-15	Work with Riverside County Transportation Commission and Riverside Transit Agency to implement the Transit Oasis system.	This program is out of date. The City worked with RTA when they developed their Comprehensive Operational Analysis which is their long range planning document.	Transportation
5-16	Implement programs that mitigate on-street hazards for bicyclists.	This is an on-going program. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan.	Transportation
5-17	Pursue regional, state and federal grant opportunities to fund design and construction of the City bikeway system.	This is an on-going program. Bicycle Infrastructure funding opportunities are identified in the adopted Bicycle Master Plan.	Transportation

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5-18	Pursue grant funding that supports traffic safety at and in the vicinity of school facilities.	This is an on-going program. The City aggressively pursues all traffic safety related grant funding.	Transportation

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5-19	Work with school districts and private schools to identify school site locations and designs that will minimize traffic impacts and promote traffic safety.	This is an on-going program. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts.	Transportation
5-20	Work with school districts and private schools to identify suggested school routes and drop-off/pick-up plans for cars and buses.	This is an on-going program. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts.	Transportation
5-21	Work with school districts and private schools to develop and promote traffic safety education programs.	This is an on-going program. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts.	Transportation
The City Structure Safety Element Goals, Objectives, Policies, and Programs			
9.6 Safety Element Goals, Objectives, Policies, and Programs			
9.6.1 Safety Element Goals			

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Goal 6.1	To achieve acceptable levels of protection from natural and man-made hazards to life, health, and property	1. The City of Moreno Valley has a robust, pro-active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services. 3. the City's fire prevention and building safety divisions adopt and enforce the latest codes pertaining to structural, building construction and fire safety in the built environment.	Fire / Police / Building / Planning
Goal 6.2	To have emergency services which are adequate to meet minor emergency and major catastrophic situations.	1.The City contracts with Cal-Fire for fire protection and emergency services. The city has seven fire stations and access to a full complement of emergency services to respond to fires, medical emergencies, extrications, urban search and rescue, wild land fires, and swift water rescues. 2.Building and Safety Inspectors are trained through Cal OES and certified for the State of California in the Safety Assessment Program, for emergency assessment of all buildings and properties. 3. PD: The police department is almost fully staffed, and fully prepared to provide adequate services to meet emergency and catastrophic incident needs.	Fire / Police / Building

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9.6.2 Safety Element Objectives and Goals			
Objective 6.1			
	Minimize the potential for loss of life and protect residents, workers, and visitors to the City from physical injury and property damage due to seismic ground shaking and secondary effects.	All residential and commercial buildings and structures are built to the current 2016 California Building Codes part 1 &2, volume 1&2 for all seismic events.	Fire / Police / Building / Planning
Policies:			
6.1.1	Reduce fault rupture and liquefaction hazards through the identification and recognition of potentially hazardous conditions and areas as they relate to the San Jacinto fault zone and the high and very high liquefaction hazard zones. During the review of future development projects, the City shall require geologic studies and mitigation for fault rupture hazards in accordance with the Alquist-Priolo Special Study Zones Act. Additionally, future geotechnical studies shall contain calculations for seismic settlement on all alluvial sites identified as having high or very high liquefaction potential. Should the calculations show a potential for liquefaction, appropriate mitigation shall be identified and implemented.	1. All residential and commercial buildings and structures are built to the current 2016 California Building Codes part 1 &2, volume 1&2 for all seismic events . Fire: This is really a Building and Land Development thing. Fire should be removed.	Fire / Police / Building / Planning

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6.1.2	Require all new developments, existing critical and essential facilities and structures to comply with the most recent Uniform Building Code seismic design standards.	All residential and commercial buildings and structures are built to the current 2016 California Building Codes part 1 &2, volume 1&2 for all seismic events . Fire: The City's building safety division adopts and enforces the latest California Building Code pertaining to structural and seismic safety in the built environment. This is an ongoing goal. See MVMC 8.20.	Fire / Police / Building
Objective 6.2	Minimize the potential for loss of life and protect residents, workers, and visitors to the City from physical injury and property damage, and to minimize nuisances due to flooding.	Currently being done consistent with Municipal Code capture 8.12 as well as Federal Emergency Management Agency (FEMA) requirements.	Land Development

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Policies:			
6.2.1	Permit only that development in 100-year floodplain that represents an acceptable use of the land in relation to the hazards involved and the costs of providing flood control facilities. Locate critical facilities, such as hospitals, fire stations, police stations, public administration buildings, and schools outside of flood hazard areas.	This item is currently applied consistently with Municipal Code Chapter 8.12 as well as Federal Emergency Management Agency (FEMA) requirements.	Land Development
6.2.2	Storm drains and catch basins owned and operated by the City shall be inspected, cleaned and maintained pursuant to an approved clean out schedule.	M&O maintains storm drains compliant with NPDES requirements consistent with Muni Code Chapter 8.10.	Land Development/M&O
6.2.3	Maximize pervious areas in order to reduce increases in downstream runoff resulting from new development.	This is accomplished through the review/implementation of WQMPs and site design features consistent with Municipal Code Chapters 9.16, 9.17, et al.	Land Development /Planning
6.2.4	Design, construct and maintain street and storm drain flood control systems to accommodate 10 year and 100 year storm flows respectively.	Design of Street and storm drain flood control systems are accomplished through design review of improvement plans and studies consistent with Municipal Code Section 9.14.110. Capital Projects: This is completed in conjunction with Riverside County Flood Control and Water Conservation District's (RCFC&WCD) cooperation and funding. It is implemented in accordance with RCFC&WCD's annual Zone budget effort.	Land Development/M&O, Capital Projects

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6.2.5	The storm drain system shall conform to Riverside County Flood Control and Water Conservation District master drainage plans and the requirements of the Federal Emergency Management Agency.	This item is accomplished through design review of improvement plans and studies consistent with Muni Code Chapter 8.12. Capital Projects: This is completed in conjunction with Riverside County Flood Control and Water Conservation District's (RCFC&WCD) cooperation and funding. It is implemented in accordance with RCFC&WCD's annual Zone budget effort.	Land Development/Capital Projects
Objective 6.3	Provide noise compatible land use relationships by establishing noise standards utilized for design and siting purposes.	Chapter 9.10, Section 9.10.140 "Noise and Sound" of the Municipal Code provides standards for commercial and industrial uses. Additionally, Title 11, Chapter 11.80 "Noise Regulation" provides requirements for construction noise and times construction and grading can occur. This is an ongoing objective for all development.	Planning
Policies:			

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6.3.1	<p>The following uses shall require mitigation to reduce noise exposure where current or future exterior noise levels exceed 20 CNEL above the desired interior noise level:</p> <p>a. Single and multiple family residential buildings shall achieve an interior noise level of 45 CNEL or less. Such buildings shall include sound-insulating windows, walls, roofs and ventilation systems. Sound barriers shall also be installed (e.g. masonry walls or walls with berms) between single-family residences and major roadways.</p> <p>b. New libraries, hospitals and extended medical care facilities, places of worship and office uses shall be insulated to achieve interior noise levels of 50 CNEL or less.</p> <p>c. New schools shall be insulated to achieve interior noise levels of 45 CNEL or less.</p>	<p>Chapter 9.10, Section 9.10.140 "Noise and Sound" of the Municipal Code provides standards for commercial and industrial uses. Additionally, Title 11, Chapter 11.80 "Noise Regulation" provides regulations for construction noise and times construction and grading can occur. If CNEL levels are not met with the uses listed in this policy, mitigation measures for items such as installation shall be provided through the Noise Study and/or environmental document. This is an ongoing</p>	Planning
6.3.2	<p>Discourage residential uses where current or projected exterior noise due to aircraft over flights will exceed 65 CNEL.</p>	<p>Title 11, Chapter 11.80 "Noise Regulation" provides requirements for residential uses noise and Section 9.07.060 of the Municipal Code provides standards consistent with the Air Installation Compatibility Zone (ACUZ) Use Overlay District. Land use and building restrictions are provided when exceeding noise levels or if development/use is not in compliance with ACUZ standards. This is an ongoing policy.</p>	Planning

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6.3.3	Where the future noise environment is likely to exceed 70 CNEL due to overflights from the joint-use airport at March, new buildings containing uses that are not addressed under Policy 6.3.1 shall require insulation to achieve interior noise levels recommended in the March Air Reserve Base Air Installation Compatible Use Zone Report.	Section 9.07.060, referring to the Air Installation Compatibility Zone (ACUZ) Use Overlay District, provides land use and building restrictions when exceeding noise levels or not in compliance with ACUZ standards. This is an ongoing policy.	Planning
6.3.4	Encourage residential development heavily impacted by aircraft over flight noise, to transition to uses that are more noise compatible.	Section 9.07.060 as well as ACUZ and/or standards required by the Airport Land Use Commission encourage non-compatible land uses to transition to more compatible uses.	Planning
6.3.5	Enforce the California Administrative Code, Title 24 noise insulation standards for new multi-family housing developments, motels and hotels.	Title 24 noise insulation standards for both new multi-family housing developments and hotels/motels are continually enforced through the California Administrative Code. This is an ongoing policy.	Planning
6.3.6	Building shall be limited in areas of sensitive receptors.	Section 9.07.060 as well as ACUZ and/or Airport Land Use Commission regulations restricts or limits building within areas of sensitive receptors.	Planning

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Objective 6.4	Review noise issues during the planning process and require noise attenuation measures to minimize acoustic impacts to existing and future surrounding land uses.	Potential Noise issues to surrounding land uses are reviewed through the project design review stage at the Project Review Staff Committee and through the California Environmental Quality Act (CEQA) standards. Mitigation measures for noise shall be provided in environmental documents to limit noise impacts. This is an ongoing City objective.	Planning
Policies:			
6.4.1	Site, landscape and architectural design features shall be encouraged to mitigate noise impacts for new developments, with a preference for noise barriers that avoid freeway sound barrier walls.	Specific design features are incorporated into projects during design review to minimize noise impacts. This could include site design features such as the placement of loading areas away from residential sensitive receptors, dense landscape and decorative walls. This is an ongoing policy.	Planning
Objective 6.5	Minimize noise impacts from significant noise generators such as, but not limited to, motor vehicles, trains, aircraft, commercial, industrial, construction, and other activities.	Chapter 9.10, Section 9.10.120 "Performance Standards" of the Municipal Code requires all mechanical and electrical equipment associated with such items as vehicles, land use or construction etc. to screen and minimize potential noise in a manner that it does not disturb adjacent uses and activities. (Ongoing)	Planning
Policies:			

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6.5.1	New commercial and industrial activities (including the placement of mechanical equipment) shall be evaluated and designed to mitigate noise impacts on adjacent uses	Chapter 9.16 "Design Guidelines", Sections 9.16.150 and 9.16.160 and Chapter 9.08, Section 9.08.150 of the Municipal Code provides general screening and buffer requirements for non-residential properties to other sensitive properties. This would include such items as trash areas, loading areas, ground-mounted equipment, roof mounted equipment etc. Chapter 9.10, Section 9.10.120 "performance Standards" of the Municipal Code requires all mechanical and electrical equipment associated with such items as vehicles, land use or construction etc. to screen and minimize potential noise in a manner that it does not disturb adjacent uses and activities. This is an ongoing policy.	Planning
6.5.2	Construction activities shall be operated in a manner that limits noise impacts on surrounding uses.	Chapter 9.10, Section 9.10.140 "Noise and Sound" of the Municipal Code provides standards for commercial and industrial uses. Additionally, Title 11, Chapter 11.80 "Noise Regulation" provides regulations for construction noise and times construction and grading can occur. This is an ongoing policy.	Planning

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Objective 6.6	Promote land use patterns that reduce daily automotive trips and reduce trip distance for work, shopping, school, and recreation.	The General Plan Land Use Map and the City's zoning map have provided land uses and patterns that reduce vehicle trips and distances for essential services. The City's Climate Action Plan also has provided strategies to reduce vehicle miles traveled. This is an ongoing objective.	Planning
Policies:			
6.6.1	Provide sites for new neighborhood commercial facilities within close proximity to the residential areas they serve.	The General Plan Land Use Map and the City's zoning map have provided land use designations and patterns that provide opportunities for residential areas to easily access neighborhood commercial areas (Ongoing)	Planning
6.6.2	Provide multi-family residential development sites in close proximity to neighborhood commercial centers in order to encourage pedestrian instead of vehicular travel.	Zoning Maps provided in the Municipal Code are consistent with the General Plan land use maps and have provided multiple-family zoning near or adjacent to where neighborhood commercial zoned property is located. This is an ongoing policy.	Planning

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6.6.3	Locate neighborhood parks in close proximity to the appropriate concentration of residents in order to encourage pedestrian and bicycle travel to local recreation areas.	Moreno Valley strives to locate neighborhood parks in close proximity to the development the park will serve. Examples of these are: Victoriano Park/School, El Potrero Park/School, Morrison Park, Westbluff Park, and Ridgecrest Park. Pedestrian and bicycle travel to the parks are encourage, as well as shopping areas around parks. On-going	Parks
Objective 6.7	Reduce mobile and stationary source air pollutant emissions.	Mobile and stationary source air pollution emissions are reviewed for most projects. For larger industrial projects, it is a primary objective to reduce air pollution sources. Air Quality is reviewed through the California Environmental Quality Act Guidelines and mitigation measures to reduce source are pollution emissions are a frequent occurrence. This is an ongoing City objective	Planning
Policies:			
6.7.1	Cooperate with regional efforts to establish and implement regional air quality strategies and tactics.	The City complies with standards within the California Air Resources Board (CARB) South Coast Air Quality Management District SCAQMD) requirements and rules (i.e. Rule 403) regarding emissions and air quality strategies. Checks and balances are reviewed thoroughly in the appropriate project environmental document. This is an ongoing policy.	Planning

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6.7.2	Encourage the financing and construction of park-and-ride facilities.	This is an on-going policy. The City works closely with Caltrans and RCTC in the development of Park and Ride Facilities.	Transportation
6.7.3	Encourage express transit service from Moreno Valley to the greater metropolitan areas of Riverside, San Bernardino, Orange and Los Angeles Counties.	This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA).	Transportation
6.7.4	Locate heavy industrial and extraction facilities away from residential areas and sensitive receptors.	Chapter 9.05 provides Good Neighbor standards for the location of heavy industrial uses away from residential uses. Examples of established buffer areas in large industrial projects are within the Industrial Area Plan (SP 208), which separates industrial uses from residential uses.	Planning
6.7.5	Require grading activities to comply with South Coast Air Quality Management District's Rule 403 regarding the control of fugitive dust.	All grading activities comply with the South Coast Air Quality Management Districts Rule 403. Conditions of approval on projects confirm control of fugitive dust by such measures as continual watering of the site and restriction of grading during higher wind events. This is an ongoing policy.	Planning

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6.7.6	Require building construction to comply with the energy conservation requirements of Title 24 of the California Administrative Code.	All residential and commercial buildings and structures are built to the current 2016 California Energy and Green Codes for all new and remodeled and tenant improvement project.	Building
Objective 6.8	As feasible given budget constraints, strive to maintain a police force with a ratio of one sworn officer for each 1,000 residents.	Fire should be removed from this item PD: The county continues to fill open positions and the new contract allows for two additional sworn officers.	Police / Fire
Policies:			
6.8.1	Explore the most effective and economical means of providing responsive and adequate law enforcement protection in the future.	Fire should be removed from this item PD: Senior leadership continues to work toward improving community policing programs, reducing crime, improving service and reducing costs.	Police / Fire
Objective 6.9	Reduce the risk and fear of crime through physical planning strategies that maximize surveillance opportunities and minimize opportunities for crime found in the present and future built environment, and by creating and maintaining a high level of community awareness and support of crime prevention.	Fire should be removed from this item PD: Senior leadership continues to work toward improving community policing programs, reducing crime, improving service delivery, and improving the perception of safety in the city. New patrol tactics, team deployments, social media platforms, and crime analysis strategies are being used to maximize our efforts.	Police / Fire
Policies:			

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6.9.1	Promote the establishment of neighborhood and business watch programs to encourage community participation in the patrol of neighborhood areas, and increased awareness of any suspicious activity.	Fire should be removed from this item PD: Our Community Services Unit and Problem Oriented Policing Teams continues to work with neighborhood watch programs, businesses, and apartment managers to encourage community participation in the patrol of neighborhood areas, and increased awareness of any suspicious activity. A social media component is in the works to assist with these programs as well.	Police / Fire
6.9.2	Require well-lighted entrances, walkways and parking lots, street lighting in all commercial, industrial areas and multiple-family residential areas to facilitate nighttime surveillance and discourage crime.	Fire should be removed from this item PD: Crime Prevention through Environmental Design (CPTED) Concepts are provided to businesses and homeowners via an inspection process handled by the Department's Community Services Unit.	Police / Fire
6.9.3	Incorporate "defensible space" concepts into the design of dwellings and nonresidential structures, including, but not limited to configuration of lots, buildings, fences, walls and other features that facilitate surveillance and reinforce a sense of territorial control.	Fire should be removed from this item PD: Crime Prevention through Environmental Design (CPTED) Concepts are provided to businesses and homeowners via an inspection process handled by the Department's Community Services Unit.	Police / Fire /Planning

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Objective 6.10	Protect life and property from the potential short-term and long-term deleterious effects of the necessary transportation, use, storage treatment and disposal and hazardous materials and waste within the City of Moreno Valley.	The Fire Prevention Division strives to inspect business occupancies who store, handle, use hazardous materials on an annual basis. The latest California Fire Code regulations pertaining to hazardous materials processes are enforced.	Fire
Policies:			
6.10.1	Require all land use applications and approvals to be consistent with the siting criteria and other applicable provisions of the adopted Hazardous Waste Management Plan, which is also incorporated into and as part of the General Plan.	The Hazardous Waste Management Plan.	Waste Coordinator
6.10.2	Manage the generation, collection, storage, processing, treatment, transport and disposal of hazardous waste in accordance with provisions of the City of Moreno Valley's adopted Hazardous Waste Management Plan, which is also incorporated into and as part of the General Plan.	The Hazardous Waste Management Plan. Host hazardous waste collection events; educate residents how to properly handle and dispose of hazardous waste; support Riverside County's efforts to provide residents and businesses with opportunities to dispose of hazardous waste properly. Work with Federal, State and County agencies to identify and regulate the use and disposal of toxic waste.	Waste Coordinator

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Objective 6.11	Maintain an integrated emergency management program that is properly staffed, trained, and equipped for receiving emergency calls, providing initial response, providing for key support to major incidents.	1. The City of Moreno Valley has a robust, proactive emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services.	Fire
Policies:			
6.11.1	Respond to any disaster situation in the City to provide necessary initial response and providing for key support to major incidents.	1. The City of Moreno Valley has a robust, proactive emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services.	Emergency Operations / Fire
6.11.2	Provide emergency first aid treatment when necessary.	1. The City of Moreno Valley has a robust, proactive emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services.	Emergency Operations / Fire
6.11.3	Support the maintenance of a trauma center within the City.	The City contracts with Cal-Fire for fire protection and emergency services.	Emergency Operations / Fire
6.11.4	Aggressively attack uncontrolled fires and hold losses to a minimum.	The City contracts with Cal-Fire for fire protection and emergency services.	Fire

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6.11.5	Minimize uncontrolled fires through support of weed abatement programs.	The Fire Prevention Division has a pro-active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners.	Fire
Objective 6.12			
	Coordinate with Federal, State and County agencies and neighboring communities in developing a regional system to respond to emergencies and major catastrophes.	1. The City of Moreno Valley has a robust, pro-active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services.	Emergency Operations / Fire
Policies:			
6.12.1	Support mutual aid agreements and communication links with the County of Riverside and other local participating jurisdictions.	1. The City of Moreno Valley has a robust, pro-active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services.	Emergency Operations / Fire
Objective 6.13			
	Maintain fire prevention, fire-related law enforcement, and public education and information programs to prevent fires.	The Fire Prevention division conducts inspections on multi-family dwellings, schools, hospitals, and business occupancies and provides education to residents and business owners regarding fire code violations and other potential safety problems.	Emergency Operations / Fire
Policies:			

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6.13.1	Provide fire safety education to residents of appropriate age.	The Fire Prevention division conducts inspections on multi-family dwellings, schools, hospitals, and business occupancies and provides education to residents and business owners regarding fire code violations and other potential safety problems. The fire department participates in a number of public events throughout the year providing public education to our residents.	Fire
Objective 6.14	Maintain the capacity to respond rapidly to emergency situations.	<ol style="list-style-type: none"> 1. The City of Moreno Valley has a robust, proactive emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services. 	Fire
Policies:			
6.14.1	Locate fire stations in accordance with the Fire Station Master Plan as shown in Figure 6-1. The exact location of each fire station may be modified based on availability of land and other factors.	Since the general plan was written, Station 58 was added off Moreno Beach and Auto Mall Dr. and Station 99 was added at Morrison and Cottonwood.	Fire
6.14.2	Relate the timing of fire station construction to the rise of service demand in surrounding areas.	1. Demand for service is continually monitored by Cal-Fire and recommendations are brought to the city.	Fire

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Objective 6.15	Ensure that property in or adjacent to wildland areas is reasonably protected from wildland fire hazard, consistent with the maintenance of a viable natural ecology.	1. The Fire Prevention Division has a pro-active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.	Fire
Policies:			
6.15.1	Encourage programs to minimize the fire hazard, including but not limited to the prevention of fuel build-up where wildland areas are adjacent to urban development.	1. The Fire Prevention Division has a pro-active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.	Fire

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6.15.2	Tailor fire prevention measures implemented in wildland areas to both the aesthetic and functional needs of the natural environment.	1. The Fire Prevention Division has a pro-active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.	Fire
Objective 6.16	Ensure that uses within urbanized areas are planned and designed consistent with accepted safety.	1. The Fire Prevention Division has a pro-active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.	Fire
Policies:			
6.16.1	Ensure that ordinances, resolutions and policies relating to urban development are consistent with the requirements of acceptable fire safety, including requirements for smoke detectors, emergency water supply and automatic fire sprinkler systems.	1. The Fire Prevention division enforces the latest state adopted California Fire Code to ensure appropriate fire protection systems are installed. 2. Annual inspections are conducted as resources permit to ensure fire protection systems are properly maintained.	Fire

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6.16.2	Encourage the systematic mitigation of existing fire hazards related to land urban development or patterns of urban development as they are identified and as resources permit.	The Fire Prevention division conducts annual inspections as resources permit to ensure fire protection systems are properly maintained, egress and ingress are provided for, and that other hazards are mitigated as required.	Fire
6.16.3	Ensure that adequate emergency ingress and egress is provided for each development.	1. The Fire Prevention division reviews all new developments for sufficient ingress, egress, and water supply. 2. The Fire Prevention division conducts annual inspections as resources permit to ensure fire protection systems are properly maintained, egress and ingress are provided for, and that other hazards are mitigated as required.	Fire
6.16.4	Within the safety zones (e.g. Air Crash Hazard Zones and Clear Zones) shown in Figure 6-5, residential uses shall not be permitted, and business uses shall be restricted to low intensity uses as defined in the March Air Reserve Base Air Installation Compatible Use Zone Report, as amended from time to time.	Residential uses are generally not permitted and businesses shall be restricted to low intensity uses within air crash hazard and clear zones. This use is monitored and regulated by March Air Reserve Base Air Installation Compatible Use Zones and the Airport Land Use Commission (ALUC), This is an ongoing policy.	Planning
Objective 6.17	Provide non-emergency public services provided that such demands do not interfere with fire protection and other emergency services.	1. The City of Moreno Valley has a robust, proactive emergency management program that incorporates all elements of NIMS.	Fire

9.6.3 Safety Element Programs

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Programs:			
6-1	Request that public utility companies inspect their facilities and distribution networks to determine the potential impact of earthquake damage.	MVU routinely inspects all facilities and performs any necessary repairs. Fire: 1. The City of Moreno Valley has a robust, pro-active emergency management program that works closely with local hospitals, utilities and other critical infrastructure.	Fire/MVU
6-2	Evaluate historic buildings relative to the need for mitigation of geologic hazards, while weighing their historical value against the potential hazard of their collapse.	All residential and commercial buildings and structures are built to the current 2016 California Building Codes for all renovations to historic buildings	Building
6-3	Reevaluate designated truck routes in terms of noise impact on existing land uses to determine if those established routes and the hours of their use should be adjusted to minimize exposure to truck noise.	This is an on-going program. It is accomplished through provisions of Title 12 of the Municipal Code. A comprehensive review of the designated truck routes will be performed with the General Plan update.	Transportation
6-4	Review existing ordinances to ensure that building and site design standards specifically address crime prevention utilizing defensible space criteria. Incorporate security standards into the Municipal Code.	No action has been taken in this area; however, the Department's Community Services Unit can begin working on this immediately.	Police/Planning

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6-5	Seek state and federal grants to offset any required additions in law enforcement staffing and/or equipment.	Senior police leadership is constantly on the lookout out for grant opportunities. Similarly, the Riverside County Sheriff's Department assists in this effort by applying for grants on the police department's behalf. All grant awards are sent to the city for approval before acceptance. The police department is currently utilizing several grants to fund equipment purchases and staff positions.	Police
6-6	Update the Fire Protection Master Plan as conditions warrant.	1. Demand for service is continually monitored by Cal-Fire and recommendations are brought to the city.	Fire
6-7	Establish regulations for development along the urban-wildland interface.	1. The Fire Prevention Division has a proactive hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.	Fire

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6-8	Establish criteria for the design, maintenance, modification and replacement of fire facilities.	1. Demand for service is continually monitored by Cal-Fire and recommendations are brought to the city.	Fire
6-9	Establish criteria for weed abatement programs.	1. The Fire Prevention Division has a proactive hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.	Fire
The City Structure Conservation Element Goals, Objectives, Policies, and Programs			
9.7 Conservation Element Goals, Objectives, Policies, and Programs			
9.7.1 Conservation Element Goals			
Goal 7.1	To achieve the wise use of natural resources within the City of Moreno Valley, its sphere of influence and planning area.	The City continues to adhere to Goal 7.1, which includes conservation of natural resources within the city limits and is sphere of influence.	Planning
9.7.2 Conservation Element Objectives and Goals			
Objective 7.1	Minimize erosion problems resulting from development activities.	Accomplished through grading and erosion control plans consistent with Municipal Code Chapter 8.21.	Land Development
Policies:			

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7.1.1	Require that grading plans include appropriate and feasible measures to minimize erosion, sedimentation, wind erosion and fugitive dust.	Grading plans are reviewed for these aspects consistent with Municipal Code Chapter 8.21.	Land Development
7.1.2	Circulation patterns within newly developing portions of Moreno Valley, particularly in hillside areas, should follow natural contours to minimize grading.	Circulation patterns are accomplished through review of site plans and tract maps consistent with Municipal Code Chapters 8.21 and 9.16	Land Development
Objective 7.2	Maintain surface water quality and the supply and quality of groundwater.	Surface water quality is achieved through the review and implementation of WQMPs consistent with Municipal Code Chapter 8.10.	Land Development
Policies:			
7.2.1	New development may use individual wells only where an adequate supply of good quality groundwater is available.	Well installation is governed by Riverside County Department of Environmental Health.	Land Development
7.2.2	The City shall comply with the provisions of its permit(s) issued by the Regional Water Quality Control Board for the protection of water quality pursuant to the National Pollutant Discharge Elimination System.	This is an on-going policy, consistent with Municipal Code Chapter 8.10.	Land Development
7.2.3	In concert with the water purveyor identify aquifer recharge areas and establish regulations to protect recharge areas and regulate new individual wells.	To date, this item is not required. Wells governed by Riverside County Department of Environmental Health. This policy may need to be reviewed further with the next comprehensive General Plan update.	Land Development

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Objective 7.3	Minimize the consumption of water through a combination of water conservation and reuse.	To date, this item is not required. Wells are governed by Riverside County Department of Environmental Health. This policy may need to be reviewed further with the next comprehensive General Plan update.	Land Development/Planning/Special Districts
Policies:			
7.3.1	Require water conserving landscape and irrigation systems through development review. Minimize the use of lawn within private developments, and within parkway areas. The use of mulch and native and drought tolerant landscaping shall be encouraged.	The City's Water Conservation Landscape Ordinance as approved in 2009 requires water conservation landscape and irrigation systems in all development review. City uses Public Works Department Landscape Design Guidelines, Planning Division Landscape Standards and Municipal Code Chapter 17, Title 9 when reviewing and approving landscape plans for public landscape. In 2016, non-functional turf (irrigated with potable water) was removed in all publically maintained medians and parkway and replaced with drought tolerant landscaping and water efficient irrigation. This is an ongoing policy.	Planning
7.3.2	Encourage the use of reclaimed wastewater, stored rainwater, or other legally acceptable non-potable water supply for irrigation.	Land Development contributes to reuse through review/implementation of WQMPs consistent with Municipal Code Chapter 8.10.	Land Development/Planning

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Objective 7.4	Maintain, protect, and preserve biologically significant habitats where practical, including the San Jacinto Wildlife Area, riparian areas, habitats of rare and endangered species, and other areas of natural significance.	The Planning Division, through the provisions of the Western Riverside County Multi-species Habitat Conservation Plan, assures that biologically significant habitats are protected and preserved during site design review at the Project Review Staff Committee. This is an ongoing objective.	Planning
Policies:			
7.4.1	Require all development, including roads, proposed adjacent to riparian and other biologically sensitive habitats to provide adequate buffers to mitigate impacts to such areas.	Development or public rights of way proposed adjacent to significant habitats are protected and preserved during site design review and review at the Project Review Staff Committee. This is an ongoing policy.	Planning
7.4.2	Limit the removal of natural vegetation in hillside areas when retaining natural habitat does not pose threats to public safety.	1. The Fire Prevention Division has a proactive hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners.	Fire
7.4.3	Preserve natural drainage courses in their natural state and the natural hydrology, unless the protection of life and property necessitate improvement as concrete channels.	Accomplished through site design consistent with Municipal Code Chapters 8.12, 8.21, and 9.16.	Planning / Land Development

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7.4.4	Incorporate significant rock formations into the design of hillside developments.	Natural rock formations are incorporated into design of hillside residential developments through Municipal Code standards included in Section 9.03.040 "Residential Site Development Standards" and Section 9.16.190 "Natural Open Space Standards". Section 9.03.060 "Planned Unit Developments" also incorporates the conservation of Cultural and Natural Resources. This is an ongoing policy.	Planning
7.4.5	The City shall fulfill its obligations set forth within any agreement(s) and permit(s) that the City may enter into for the purpose of implementing the Western Riverside County Multi-species Habitat Conservation Plan.	This goal is satisfied through the Western Riverside County Multi-Species Habitat Conservation Plan (MSHCP) approved on June 17, 2003, The MSHCP Plan was incorporated by the City of Moreno Valley and the City fulfills its obligations for implementing the Plan regarding agreements, permits, review of cell groups etc. This is an ongoing policy.	Planning

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Objective 7.5	Encourage efficient use of energy resources.	The City's adopted Climate Action Strategy provides strategies for efficient use of energy resources citywide. MVU regularly forecasts demand for energy and procures enough energy to meet demand. A portion of the energy is from renewable resources, such as wind and solar. This is an ongoing objective.	Planning/MVU

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Policies:			
7.5.1	Encourage building, site design, and landscaping techniques that provide passive heating and cooling to reduce energy demand.	Building, site design and landscaping techniques that provide passive heating and cooling as well as energy reduction are achieved by following the current 2016 California Energy and Green Code for reference. MVU has established Energy Efficiency Programs for residential and commercial customers that provide rebates and incentives for the installation of energy saving projects, including window film and cool roof applications.	Building/Planning /MVU

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7.5.2	Encourage energy efficient modes of transportation and fixed facilities, including transit, bicycle, equestrian, and pedestrian transportation. Emphasize fuel efficiency in the acquisition and use of City-owned vehicles.	<p>MVU: In March 2016, MVU completed the installation of electric vehicle charging stations that are available to the public. Installation of additional electric vehicle charging stations at City Hall will begin in February 2017.</p> <p>Transportation: This is an on-going policy. It is accomplished through implementation of the Bicycle Master Plan, continued development of the Safe Routes to School program, and support of the recommendations within RTA's Comprehensive Operational Analysis. Also Public Works uses fuel efficiency as a major factor in the acquisition of City vehicles.</p>	Transportation/MVU
7.5.3	Locate areas planned for commercial, industrial and multiple family density residential development within areas of high transit potential and access.	The General Plan Land Use Map and the City's zoning map have provided land use designations and patterns that provide opportunities for commercial, industrial and multiple-family residential development to locate within areas of high transit potential and access. New plans such as the Nason Corridor and Alessandro Corridor have provided additional opportunities for development near transit corridors. This is an ongoing policy.	Planning

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7.5.4	Encourage efficient energy usage in all city public buildings.	Efficient energy usage in all city public buildings is achieved by following the current 2016 California Energy and Green Code for reference. MVU works with Facilities to implement energy efficient measures in MVU-served city facilities. Examples include lighting retrofits at the Conference and Rec Center and the Animal Shelter. This is an ongoing policy.	Building/MVU
7.5.5	Encourage the use of solar power and other renewable energy systems.	The use of solar power and other renewable energy systems is achieved by following the current 2016 California Energy and Green Code and by goals included in the City's Climate Action Plan. MVU has a solar program for residential and commercial customers. To date, MVU customers have installed over 6 MW of solar.	Planning / Building
Objective 7.6	Identify and preserve Moreno Valley's unique historical and archaeological resources for future generations.	The City has identified historical and archeological resources for preservation purposes. This includes review of historic resources through project review under the California Environmental Quality Act (CEQA) and archeological resources through Native American Tribal entity review and general Archeological Studies through CEQA review. This is an ongoing objective of the City.	Planning / Building
Policies:			

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7.6.1	Historical, cultural and archaeological resources shall be located and preserved, or mitigated consistent with their intrinsic value.	Through environmental review and required technical studies, project conditions of approval and coordination with Native American Tribes,, mitigation measures are provided to conserve cultural resources that are uncovered during excavation and construction activities This is an ongoing policy.	Planning
7.6.2	Implement appropriate mitigation measures to conserve cultural resources that are uncovered during excavation and construction activities.	Through environmental review and required technical studies, project conditions of approval and coordination with Native American Tribes, mitigation measures are provided to conserve cultural resources that are uncovered during excavation and construction activities This is an ongoing policy.	Planning
7.6.3	Minimize damage to the integrity of historic structures when they are altered.	Altered structures are reviewed internally with Building and Planning staff and on an individual basis with the Environmental and Historical Preservation Board. This is an ongoing policy.	Planning
7.6.4	Encourage restoration and adaptive reuse of historical buildings worthy of preservation.	Restoration and adaptive reuse to preserve historical buildings are reviewed internally with Building and Planning staff and on an individual basis with the Environmental and Historical Preservation Board. This is an ongoing policy.	Planning

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7.6.5	Encourage documentation of historic buildings when such buildings must be demolished.	When historic buildings must be demolished, they are first reviewed by the Environmental and Historical Preservation Board. Any documentation would occur through the Building and Safety Division.	Planning
Objective 7.7	Where practical, preserve significant visual features significant views and vistas.	Review of development projects through Project Staff Review strive to preserve visual features, significant views and vistas. The item is further reviewed through Appendix G, "Aesthetics" and "Cultural Resources" of the California Environmental Quality Act (CEQA Guidelines). This is an ongoing objective.	Planning
Policies:			
7.7.1	Discourage development directly upon a prominent ridgeline.	Section 9.03.040 B "Residential Site Development Standards" of the Municipal Code establishes standards for hillside residential development consistent with the goals, objectives and policies of the General Plan. Allowable development would preserve natural hillsides and ridgelines. Goals, objectives and policies of hillside residential development will be further evaluated with the next comprehensive General Plan update.	Planning

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7.7.2	Require new electrical and communication lines to be placed underground.	This item is accomplished through site design consistent with Municipal Code Section 9.14.130.	Land Development
7.7.3	Implement reasonable controls on the size, number and design of signs to minimize degradation of visual quality.	Sign regulations included in Chapter 9.12 "Sign Regulations" provides controls on size, number and design of signs. Sign programs for larger commercial and industrial sites also provide regulations that are consistent with the Municipal Code and General Plan policy.	Planning
7.7.4	Gilman Springs Road, Moreno Beach Drive, and State Route 60 shall be designated as local scenic roads.	Caltrans manages the Scenic Highway Program in accordance with State Scenic Highway Guidelines and Sections 260 through 263 of the Streets and Highways Code. A county highway component was added to the Program in Section 154 of the Streets and Highways Code. Key criteria include memorable landscape, minimal intrusions, local support, and length not less than 1 mile.	Transportation/Planning
7.7.5	Require development along scenic roadways to be visually attractive and to allow for scenic views of the surrounding mountains and Mystic Lake.	Development along scenic roadways and the allowance for scenic views of the surrounding mountains are achieved through environmental review and Appendix N "Aesthetics" of the California Environmental Quality Act Guidelines.	Building/Planning

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7.7.6	Minimize the visibility of wireless communication facilities by the public. Encourage "stealth" designs and encourage new antennas to be located on existing poles, buildings and other structures.	Chapter 9.09, Section 9.09.040 "Communication facilities, antennas and satellite dishes includes standards to minimize the visibility of wireless communications and encourages stealth designs. Co-location of facilities are encouraged. This is an ongoing policy.	Planning
Objective 7.8	Maintain an adequate system of solid waste collection and disposal to meet existing and future needs.	Maintain an adequate system of solid waste collection and disposal to meet existing and future needs: Franchise agreement is in place, continued update/amendments as existing and future needs change and or emerge.	Waste Coordinator

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Policies:			
7.8.1	Encourage recycling projects by individuals, non-profit organizations, or corporations and local businesses, as well as programs sponsored through government agencies.	Encourage recycling projects by individuals, non-profit organizations, or corporations and local businesses, as well as programs sponsored through government agencies. The City of Moreno Valley actively encourages recycling projects and promotes participation in Keep Moreno Valley Clean and Beautiful (KMVCB); and educates groups regarding recyclable materials guidelines and goals. The City is involved in extensive outreach and education activities with respect to the three R's: reduce, reuse, recycle.	Waste Coordinator
9.7.3 Conservation Element Programs			
Programs:			

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
7-1	Support regional solid waste disposal efforts by the County of Riverside.	<p>Capital Projects: The City offers a number of waste reduction, recycling and community clean-up programs.</p> <p>There is a franchise agreement in place with a major solid waste/recycling (AB 939) hauler, for residential (curbside) and commercial (AB 341) materials, that has resulted in the attainment of significant diversion. The City in partnership with Riverside County hosts biannual hazardous and electronic waste collections and community outreach events. The City is implementing AB 1826, requiring businesses to recycle their organic waste. The City has implemented a used motor oil and filters recycling public education program, and promotes Riverside County’s free Backyard Composting Workshops, where residents can learn to properly compost green waste.</p>	Waste Coordinator/M&O/Capital Projects
7-2	Advocate for natural drainage channels to the Riverside County Flood Control District, in order to assure the maximum recovery of local water, and to protect riparian habitats and wildlife.	This item is accomplished through site design and coordination with Flood Control consistent with Municipal Code Chapter 8.12.	Land Development /Capital Projects

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7-3	Maintain a close working relationship with EMWD to ensure that EMWD plans for and is aware of opportunities to use reclaimed water in the City.	A close working relationship is maintained with EMWD on all projects to review reclaimed water opportunities in the City	Land Development/Special Districts
7-4	Provide guidelines for preferred planting schemes and specific species to encourage aesthetically pleasing landscape statements that minimize water use.	Current Landscape Development Guidelines and Specifications in the Municipal Code provide preferred planting schemes and aesthetically pleasing landscape statements that minimize water use and require drought tolerant species. This is an ongoing policy.	Planning
7-5	Develop incentives where appropriate, for the maintenance and sensitive rehabilitation of historic structures and properties.	Although historic structures and properties are reviewed and conserved, specific incentives have not been developed for maintenance and sensitive rehabilitation of historic structures. This item shall be further reviewed and evaluated in the next comprehensive General Plan update.	Planning

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7-6	In areas where archaeological or paleontological resources are known or reasonably expected to exist, based upon the citywide survey conducted by the UCR Archaeological Research Unit, incorporate the recommendations and determinations of that report to reduce potential impacts to levels of insignificance.	Archeological and paleontological resources are reviewed through face to face meetings with Native American Tribes and review of studies that determine where resources lie. One such vehicle to review resources is the studies and reports provided by the UCR Archaeological Research Unit. The City incorporates the recommendations and determinations of these reports into the review of proposed development projects to reduce any noted impacts to levels of insignificance. This is an ongoing policy.	Planning
The City Structure Housing Element Goals, Objectives, Policies, and Programs			
9.8 Housing Element Goals, Objectives, Policies, and Programs			
9.8.1 Housing Element Goals			
Goal 8.1	Improve and maintain decent, sanitary and affordable housing.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units.	Housing/Planning
Goal 8.2	Improve and maintain decent, sanitary and affordable housing for very-low income households and seniors.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units.	Housing/Planning

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Goal 8.3	Reduce substandard housing and health and safety violations.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units.	Housing/Planning
Goal 8.4	Assist in the revitalization of older neighborhoods.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning
Goal 8.5	Improve and maintain decent and affordable rental housing.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units.	Housing/Planning
Goal 8.6	Assist very low, low and moderate-income first time buyers to purchase homes.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning
Goal 8.7	Add to the number of affordable rental units for very low and low-income households.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to seek new opportunities to develop new units.	Housing/Planning

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
Goal 8.8	Create affordable housing units for senior households.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to seek new opportunities to develop new units.	Housing/Planning
9.8.2 Housing Element Objectives and Policies			
Objective 8.1	Rehabilitate a minimum of fifteen single- family homes under the Home Improvement Loan Program (HILP).	From the 2014-2021 Housing Element Update -The Home Improvement Loan Program is on hold pending identification of new funding source. The program was previously funded by Redevelopment Agency. Housing: The program has met its goal and is currently no longer active due to funding.	Housing/Planning
Objective 8.2	Rehabilitate a minimum of fifteen single-family homes under the Homeowner Assistance for Minor Rehabilitation loan program (HAMR).	From the 2014-2021 Housing Element Update - The Homeowners Assistance for Minor Rehabilitation (HAMR) program is on hold pending identification of new funding source. The program was previously funded by the Redevelopment Agency. Housing: The program has met its goal and is currently no longer active due to funding.	Housing/Planning
Policies:			

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Goal/Policy	Description	Discussion on Implementation Status	Responsible Party
8.2.1	Rehabilitate single-family homes to correct substandard conditions, improve handicap accessibility, and improve the aesthetics of older neighborhoods, thereby contributing to their preservation and revitalization.	Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to seek new opportunities to contribute to preservation of units.	Housing/Planning
Objective 8.3	Rehabilitate a minimum of ninety mobile homes, for very low-income homeowners, in mobile home parks citywide, under the Mobile Home Grant Program.	From the 2014-2021 Housing Element Update - Policy/Program # 8.4 - Program is due to continue as the City converted to a contract program with Habitat for Humanity starting in FY 2013-14. - Housing may have additional information. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Through the City's CDBG funds, there continues to be multiple units addressed each year.	Housing/Planning
Policies:			
8.3.1	Correct substandard conditions in mobile home parks.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Through the City's CDBG funds, there continues to be multiple units addressed each year.	Housing/Planning

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Objective 8.4	Obtain code compliance from a minimum of twenty-five very low and moderate-income property owners, citywide, with emphasis on focus neighborhoods.	From the 2014-2021 Housing Element Update - Policy/Program # 8.3 - Program description - Administer a program to provide grant funds for neighborhood beautification in targeted neighborhoods. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Code Compliance continues to seek compliance of the units.	Housing/Planning
Policies:			
8.4.1	Enforce correction by property owners of identified housing and code violations in rental properties occupied by very low to moderate-income households.	From the 2014-2021 Housing Element Update - Policy/Program # 8.3 - New program funds included in FY 2013-14 CDBG allocation will allow continuation of the program. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Code Compliance continues to seek compliance of the units	Housing/Planning

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Objective 8.5	Conduct five neighborhood clean-ups annually; provide related services to Community Development Block Grant (CDBG) areas in conjunction with other projects, and assist in clean-up of 360 housing units.	From the 2014-2021 Housing Element Update - Policy/Program # 8.6 -The program will continue with funds from future CDBG allocations.	Housing/Planning
Policies:			Housing/Planning
8.5.1	Provide neighborhood improvement programs to CDBG target areas.	From the 2014-2021 Housing Element Update - Policy/Program # 8.5 - The program originally included both CDBG target areas and the Redevelopment Area. The program was revised after dissolution of the state’s redevelopment agencies. Funding of the program in the CDBG target areas will continue in the 2014-2021 planning cycle. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning
Objective 8.6	Assist 300 households citywide.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning
Policies:			

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8.6.1	Provide fair housing and landlord/tenant education services to very low to moderate-income households.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Through the City's CDBG funding, the City continues to fund Fair Housing services.	Housing/Planning
Objective 8.7	Rehabilitate fifty multi-family units, citywide, through utilization of the Rental Rehabilitation Program.	The program has met its goal and is currently no longer active due to funding.	Housing/Planning
Policies:			
8.7.1	To eliminate substandard housing conditions for low-income renters, while enhancing the appearance of multi-family developments.	The City is currently working on establishing funding sources for this item. Ongoing.	Housing/Planning
Objective 8.8	Assist households with down payment and closing costs.	From the 2014-2021 Housing Element Update - Policy/Program # 8.10 - Program description - Provide funds for Homebuyer Assistance Program (HAP) silent seconds. Work with approved lenders. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning
Policies:			
8.8.1	Provide assistance to facilitate homeownership for very low to moderate-income households.	From the 2014-2021 Housing Element Update - Policy/Program # 8.10 - Program will continue (need update from Housing) Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning

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Objective 8.9	Create a minimum of 126 affordable rental units, citywide.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available.	Housing/Planning

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Policies:			
8.9.1	Facilitate the creation of affordable rental units.	From the 2014-2021 Housing Element Update - Policy/Program # 8.13 - Program 8.13 was deleted after dissolution of the state's redevelopment agencies. The City will continue to look for new funding source and other programs to promote the development of affordable units for larger families. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning
Objective 8.10	Create a minimum of seventy senior units.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available.	Housing/Planning
Policies:			
8.10.1	Create decent and affordable housing opportunities for low and very-low income seniors.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available.	Housing/Planning
9.8.3 Housing Element Programs			
Programs:			

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8-1	Utilize the Home Improvement Loan Program (HILP) that provides a 3% loan for up to \$15,000 deferred for 20 years. Available citywide for very low to lower income homeowners.	The program has met its goal and is currently no longer active due to funding.	Housing/Planning
8-2	Utilize the Homeowner Assistance for Minor Rehabilitation (HAMR) loan program that provides a 3% to 5% loan for up to \$7,500 amortized over a 10-year term.	The program has met its goal and is currently no longer active due to funding.	Housing/Planning
8-3	Utilize the Mobile Home Grant Program that provides grants up to \$10,000 for owner-occupants of mobile homes.	CDBG Funding is still being used for this purpose.	Housing/Planning
8-4	Provide enhanced code compliance services and referrals to City housing rehabilitation programs.	When Redevelopment was dissolved several years ago any referrals ceased at that point due to lack of funding availability	Housing/Planning
8-5	Utilize the City Neighborhood Clean-up Program to provide volunteers and equipment to neighborhoods for clean-up activities.	This program was administered by the Sustainability & Intergovernmental Program Manager. The city has created an Annual Day of Volunteerism (5.1.2) that may replace this program.	Housing/Planning
8-6	Contract with a fair housing agency to mediate between landlords and tenants and educate them on their rights and responsibilities.	Fair housing receives CDBG funding for these activities on an annual basis.	Housing/Planning
8-7	Update the City's Analysis of Impediments to Fair Housing.	This item is no longer active due to funding loss. Funding sources are being looked at.	Housing/Planning
8-8	Provide rehabilitation loans through the City's Rental Rehabilitation Program that offers 5% loans with the first year deferred and amortized over a 19-year period.	The program has met its goal and is currently no longer active due to funding.	Housing/Planning

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8-9	Through the Homebuyer Assistance Program, provide 30-year deferred silent second loans, with no interest, up to 20% or \$200,000 of the purchase price of resale homes.	The program has met its goal and is currently no longer active due to funding.	Housing/Planning
8-10	Work with local CHDO to construct and/or rehabilitate houses for very low-income households.	The City receives an allocation of HOME funds for CHDOs. This funding may only be used for this purpose.	Housing/Planning
8-11	Purchase HUD homes for resale to first time homebuyers.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available.	Housing/Planning
8-12	Administer new construction home ownership program and youth job training.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available.	Housing/Planning
8-13	Work with housing developers by providing Agency assistance to write-down the costs of units via loans.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available.	Housing/Planning

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8-14	Provide financial assistance for the development of affordable rental units for larger families.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available.	Housing/Planning
8-15	Revise General Plan.	The General Plan will need to be revised to add the R30 land use. This will be provided with the next comprehensive General Plan update.	Housing/Planning
8-16	Continue to implement permit streamlining.	Permit streamlining is ongoing in support of affordable housing projects within the Housing Element.	Housing/Planning
8-17	Develop standards for mobile home parks and mobile home subdivisions.	If not governed or following under state regulations, Mobile home parks and subdivisions are addressed in the Municipal Code regarding use (Section 9.02.020-1 - Conditional Use Permit in residential zones) and standards (Section 9.08.110 "Manufactured Home Requirements").	Housing/Planning
8-18	Review parking standards for multi-family 3 and 4 bedroom units, including covered parking requirements to determine if reductions are appropriate.	The Municipal Code addresses density bonus, affordable housing and senior housing projects through reductions/modifications to standards.	Housing/Planning
8-19	Review second unit regulations to determine if expansion is merited to additional districts.	This item is ongoing to meet new state regulations and will remain in compliance with State law requirements.	Housing/Planning

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8-20	Continue to pay the development fees for projects, on a case-by-case basis, that have received State or Federal funds, such as Section 202 and Tax Credits.	All uses, including Section 202 projects , continue to pay development impact fees on a case by case basis (ongoing).	Housing/Planning
8-21	Utilize Redevelopment Agency funds, where appropriate and necessary, to facilitate infrastructure for affordable projects.	Following the dissolution of RDA, there are no currently active programs due to limited or no funding available.	Housing/Planning
8-22	Propose general plan changes for rezoning areas in the city to housing uses or mixed uses that include housing.	The Municipal Code was updated in 2014 to include provisions for mixed use projects	Housing/Planning
8-23	Facilitate the construction of a sixty-nine unit multi-family senior complex.	We are currently pursuing a senior development opportunity on Housing Authority property.	Housing/Planning

RESOLUTION NO. 2019-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY RECOMMENDING APPROVAL OF THE 2018 GENERAL PLAN ANNUAL PROGRESS REPORT TO THE CITY COUNCIL

WHEREAS, the State of California requires non-charter cities and counties to adopted a General Plan to provide guidance and direction for development activities; and,

WHEREAS, the City of Moreno Valley's current General Plan was adopted on July 11, 2006; and,

WHEREAS, California Government Code section 65400 mandates that cities submit an Annual Progress Report on the status of the General Plan and its implementation to their legislative bodies, the State Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD); and,

WHEREAS, the Annual Progress Report is required to include: a) The state of the Plan and the progress of its implementation; b) the progress in meeting its share of regional housing needs; and, c) the degree to which the General Plan complies with the Guidelines established by OPR; and,

WHEREAS, the City has prepared its Annual Progress Report due April 1, 2019 to include major accomplishments, General Plan implementation, an evaluation of current General Plan goals, objectives, policies and programs, and a regional housing report, in accordance with the Guidelines adopted by OPR ;and

WHEREAS, the City's Strategic Plan (Momentum Moval), adopted on August 16, 2016, included Initiative 1.9.1 related to the preparation of a General Plan Annual Report to explain how land use decisions related to adopted goals, objectives, policies, and implementation measures and, as appropriate, to identify necessary course adjustments consistent with the Strategic Plan. This report is updated annually, and reflects the effort due to OPR and HCD by April 1, 2019; and,

WHEREAS, the City's Strategic Plan (Momentum Moval) also provides Initiative 1.9.2 including the formation of an ongoing working group of key City staff to research and evaluate the current General Plan adopted in 2006 as a prerequisite to completing a comprehensive update of the document; and,

WHEREAS, the Housing Element is one of seven mandatory elements of a General Plan required by the State of California and has last been updated in 2014; and,

1
Resolution No. 2019-10
Date Approved:

WHEREAS, the Housing Element must be updated every five to eight years and reviewed for consistency with the State Department of Housing and Community Development, with Moreno Valley’s Housing Element update due in 2021; and,

WHEREAS, the Annual Report includes vital General Plan and housing information from January 2018 to December 2018; and

WHEREAS, on February 14, 2019, the City Planning Commission reviewed the item as a report and provided a recommendation to City Council; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission of the City of Moreno Valley as follows:

The City of Moreno Valley has completed the General Plan Annual Report as required by California Government Code section 65400 for the 2018 calendar year.

The Annual Report provided herein as an attachment to the staff report is found to be consistent with the suggested content in the State Guidelines and is hereby accepted.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution No. 2019-10 and hereby:

1. **CERTIFIES** that the General Plan Annual Report is exempt from environmental review in accordance with Section 15061 of the California Environmental Quality Act (CEQA) Guidelines, and
2. **RECOMMENDS** to the City Council that the January 2018 to December 2018 General Plan Annual Report presented is consistent with the requirements of Government Code Section 64000 with regard to reporting on status of the City General Plan and progress on its implementation, and is ready for submittal to the Office of Planning and Research and to the Department of Housing and Community Development by April 1, 2019.

APPROVED this 14th day of February, 2019

AYES:
NOES:
ABSTAIN:

2
Resolution No. 2019-10
Date Approved:

Attachment: Resolution 2019-10 [Revision 2] (3395 : 2018 General Plan Annual Progress Report)

Jeffrey Barnes
Chair, Planning Commission

ATTEST:

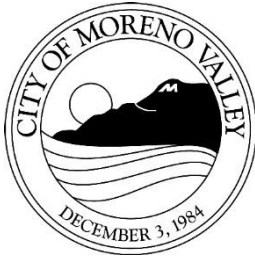
APPROVED AS TO FORM:

Patty Nevins, Planning Official

City Attorney

Attachment: Resolution 2019-10 [Revision 2] (3395 : 2018 General Plan Annual Progress Report)

3
Resolution No. 2019-10
Date Approved:



PLANNING COMMISSION

STAFF REPORT

Meeting Date: February 14, 2019

PLOT PLAN FOR A 20-UNIT SENIOR APARTMENT COMPLEX ON .9 ACRES LOCATED ON THE NORTH SIDE OF WEBSTER AVENUE WEST OF INDIAN STREET

Case: PEN16-0066

Applicant: Joel Mendez

Owner: Joel Mendez

Representative: Andy Wang

Location: 24298 Webster Avenue, north side between Heacock Street and Indian Street.

Case Planner: Julia Descoteaux

Council District: 1

SUMMARY

The applicant, Joel Mendez, is requesting approval of a 20-unit senior apartment complex located on the north side of Webster Avenue between Heacock Street and Indian Street, within the Village Office/Residential (VOR) land use district of Specific Plan 204 (The Village Specific Plan). The project is consistent with the Specific Plan 204 Village Office Residential land use district, which allows residential (including multi-family) land uses. The intent of the VOR designation is to create a buffer between the predominantly residential uses to the south and the commercial uses to the north.

Project

The proposed senior apartment project on .9 acres includes 20 units, an office, laundry area and a 1,033 square foot recreation room. All of the units are one bedroom. The

two-story portion of the building includes 10 units on each floor. Two interior staircases (one on each end) and an elevator in the center of the complex provide access to the second floor units. The residential building runs north to south on the property with the outside common area between the units and the carports, and an additional outside common area in the rear portion of the parcel.

The senior project as designed and conditioned is consistent with all of the development standards of the Specific Plan as well as the requirements of Municipal Code Section 9.09.150, which applies to senior and handicapped housing. Each unit is approximately 548 square feet with additional private patio areas (320 square feet for first floor units and 106 square feet for second floor units) and a carport space for each unit.

Additionally, Municipal Code section 9.09.150 includes specific criteria for a density bonus, which may exceed the permitted density by up to 100%. The Village Office Residential allows for a maximum residential density of fifteen dwelling units per acre, which would allow for no more than 14 dwelling units. As designed, the project requires a density bonus of just under 50%.

The project as designed and conditioned satisfies all the requirements for a density bonus specified in Municipal Code Section 9.09.150. The requirements for a density bonus include the commitment to the ongoing use as a senior complex, and identification of amenities and assurances that amenities will remain available. The project amenities include a 1,033 square foot recreation room for residents, a laundry room with washers and dryers, and an outdoor area with barbeques and seating areas for the residents. The conditions of approval will ensure compliance with the Municipal Code requirements.

Site, Access and Parking

The .9-acre site is vacant land located on the north side of Webster Avenue between Indian Street and Heacock Street.

The site will be accessed from a new driveway on the west side of the parcel north to the rear property line, and will provide a fire truck turn-around and additional parking adjacent to the northerly property line.

Twenty-five (25) parking spaces are provided including carports (one covered space per unit), and five uncovered spaces which satisfies the City's Municipal Code requirements for residents and visitors.

Surrounding Area

The surrounding area is within the Specific Plan 204 Village Office/Residential district, which provides for residential and mixed uses including the proposed multi-unit senior project. Adjacent uses include existing single family to the west and south, commercial

to the north accessed from Sunnymead Boulevard, multi-family to the southwest, and vacant land adjacent to the east.

Design/Landscaping

The common area courtyard located in the center of the complex between the covered carports and the residential building includes barbeques and seating areas for the residents. Also included will be a 1,033 square foot recreation room for residents and a laundry room with washers and dryers.

In addition to the landscaped common areas, each unit includes private open space as required by the Specific Plan.

The architectural design of the apartments includes ivory stucco walls with arches and a tile roof creating a Spanish style feel with brown trim and stone accents along the lower portion of the buildings. Decorative lighting will be required on the buildings to create a shadowing effect and provide lighting to the complex. All buildings including the covered carports include red tile roofs.

A decorative block wall surrounds the project with steel fencing between each lower unit for privacy and security.

Required perimeter landscaping along the frontage and drive aisle is included in the design to be maintained by the property owner.

REVIEW PROCESS

The review process included several submittals with comments by staff addressing site design, water quality and building standards. The applicant has addressed all comments.

ENVIRONMENTAL

Planning staff has reviewed the request in accordance with the latest edition of the California Environmental Quality Act (CEQA) Guidelines and has determined that the project is exempt under the provisions of the CEQA as a Class 32 Categorical Exemption, CEQA Guidelines, Section 15332 for In-Fill Projects.

The Class 32 exemption applies to the project in that the project meets the following conditions:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five (5) acres substantially surrounded by urban uses.
- (c) The project site has no value a habitat for endangered, rare or threatened

species.

- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

NOTIFICATION

The public hearing notice for this project was published in the local newspaper on February 1, 2019. Public notices were sent to all property owners of record within 300 feet of the project site on January 31, 2019. The public hearing notice for this project was posted on the project site on February 1, 2019.

As of the date of report preparation, staff has received no phone calls or correspondence in response to the noticing for this project.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2019-09, and thereby:

1. **CERTIFY** that PEN16-0066 (PA15-0031), a Plot Plan for a 20-unit senior apartment complex is exempt from the provisions of the California Environmental Quality Act (CEQA), as a Class 32 Categorical Exemption, CEQA Guidelines, Section 15332, for In-Fill development Projects; and
2. **APPROVE** Plot Plan PEN16-0066 (PA15-0031), based on the findings contained in this resolution, and subject to the attached conditions of approval included as Exhibit A.

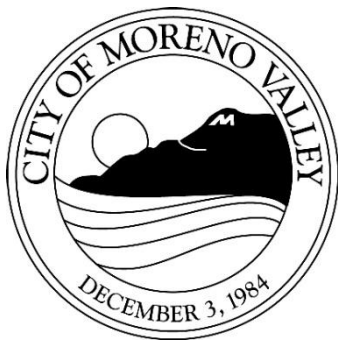
Prepared by:
Julia Descoteaux
Associate Planner

Approved by:
Patty Nevins
Planning Official

ATTACHMENTS

1. 300' Site Notice
2. 300 Foot Radius Map
3. Resolution 2019-09
4. Exhibit A to 2019-09 Conditions of Approval
5. Site Plan
6. Aerial
7. Preliminary Grading Plan
8. Preliminary Grading Plan Drainage
9. Elevation Plan

10. Conceptual Landscape Plan
11. First Floor Plan
12. Second Floor Plan
13. Typical Floor Plan
14. Color Board
15. Color Elevation



This may affect your property

Notice of PUBLIC HEARING

Notice is hereby given that a Public Hearing will be held by the Planning Commission of the City of Moreno Valley on the following item(s):

Project: PEN16-0066
Applicant: Joel Mendez
Owner: Joel Mendez
Representative: Andy Wang
A.P. No(s): 481-140-025
Location: 24298 Webster Street
Proposal: A Plot Plan for a twenty (20) unit senior apartment complex on .90 acres located in the Village Office Residential (VOR) zone of the Village Specific Plan 204.

Council District: 1

The project has been evaluated against criteria set forth in the California Environmental Quality Act (CEQA) Guidelines and it was determined that the project will not have a significant effect on the environment. A finding that the project is exempt from the provisions of CEQA as a Class 32 Categorical Exemption in accordance with CEQA Guidelines Section 15332 for In-Fill Development Projects is being recommended for the project.

A public hearing before the Planning Commission has been scheduled for the proposed project. Any person interested in commenting on the proposal and recommended environmental determination may speak at the hearing or provide written testimony at or prior to the hearing. The project application, supporting plans and environmental documents may be inspected at the Community Development Department at 14177 Frederick Street, Moreno Valley, California during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday and 7:30 a.m. to 4:30 p.m., Friday), or you may telephone (951) 413-3206 for further information.

The Planning Commission, at the Hearing or during deliberations, could also consider and approve changes or alternatives to the project. If you challenge this project, including any modifications considered for the project, in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in

written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.



LOCATION N ↑

PLANNING COMMISSION HEARING

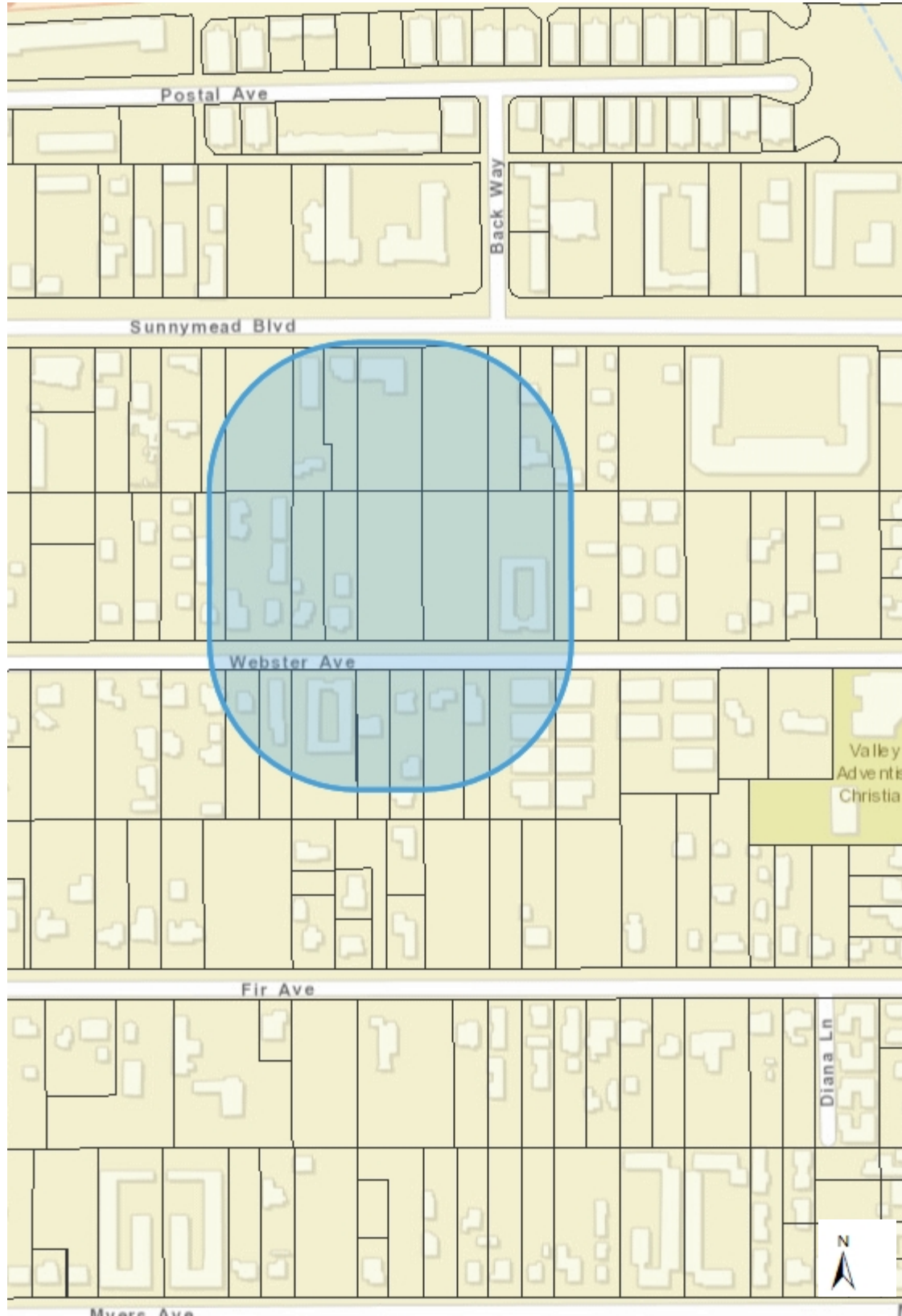
City Council Chamber, City Hall
 14177 Frederick Street
 Moreno Valley, Calif. 92553

DATE AND TIME: February 14, 2019 at 7:00 P.M.
CONTACT PLANNER: Julia Descoteaux
PHONE: 951.413.3209

Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.



PEN16-0066 300 foot Radius Map



Legend

- Public Facilities
 - Public Facilities
 - ★ Fire Stations
- Parcels
- ⊞ City Boundary
- ⊞ Sphere of Influence

Notes

631.0 0 315.48 631.0 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere

Print Date: 1/22/2019

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Attachment: 300 Foot Radius Map (3365 : Plot Plan for a 20-Unit Senior Apartment Complex on Webster Avenue)

RESOLUTION NO. 2019-09

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING PEN16-0066 A PLOT PLAN FOR DEVELOPMENT OF A 20 UNIT SENIOR APARTMENT PROJECT ON A .9-ACRE PARCEL LOCATED ON THE NORTH SIDE OF WEBSTER AVENUE BETWEEN HEACOCK STREET AND INDIAN STREET APN. (481-140-025; 24298 WEBSTER AVENUE).

WHEREAS, Joel Mendez, has filed an application for the approval of Plot Plan application PEN16-0066 for development of a 20 unit senior apartment project as described in the title of this Resolution; and

WHEREAS, the application has been evaluated in accordance with established City of Moreno Valley (City) procedures, and with consideration of the General Plan and other applicable regulations; and

WHEREAS, upon completion of a thorough development review process the project was appropriately agendized and noticed for a public hearing before the Planning Commission of the City of Moreno Valley (Planning Commission); and

WHEREAS, the public hearing notice for this project was published in the local newspaper and posted on the site on February 1, 2019. Notices were sent to all property owners within 300 feet on January 31, 2019; and

WHEREAS, on February 14, 2019, the Planning Commission of the City of Moreno Valley (Planning Commission) held a meeting to consider the application; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred; and

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and City ordinances; and

WHEREAS, conditions of approval have been prepared for the project and are attached to this Resolution as Exhibit A; and

WHEREAS, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found and determined by the Planning Commission of the City of Moreno Valley as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on February 14, 2019, including written and oral staff reports, and the record from the public hearing, this Planning Commission hereby specifically finds as follows:

1. **Conformance with General Plan Policies** – The proposed use is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: The project proposes development of a 20-unit senior housing complex on approximately .9 acres. The General Plan land use designation for the project site is Residential Office, which allows for the proposed use.

The project as proposed is consistent with General Plan Goal 2.4, which identifies the need for a supply of housing in sufficient numbers suitable to meet the diverse needs of future residents and to support healthy economic development without creating an oversupply of any particular type of housing. The project is also consistent with General Plan Objective 2.2, which states that the City will provide a wide range of residential opportunities and dwelling types to meet the demands of present and future residents of all socioeconomic groups.

The project as designed and conditioned will achieve the objectives of the City of Moreno Valley's General Plan to provide for senior housing projects. The project is consistent with the General Plan Housing Element that identifies goals, objectives and policies to create senior housing opportunities (Housing Chapter 8, G.8.8 and Objective 8.10). The project satisfies all of the requirements for a density bonus as specified in Municipal Code Section 9.09.150 allowing for an increase in the allowable density of fifteen (15) units to the proposed twenty (20), units with the commitment to ongoing use as a senior complex.

The proposed project is consistent with the General Plan and does not conflict with the goals, objectives, policies, and programs established within the Plan.

2. **Conformance with Zoning Regulations** – The proposed use complies with all applicable zoning and other regulations.

The intent of the Village Office/Residential land use is to create a transition or buffer zone between the high activity commercial district to the north and the residential district to the south. While the office development remains the primary intent, the residential component will increase the level of activity in this area providing better linkage and compatibility with the adjacent residential neighborhood.

The proposed project complies with the Specific Plan 204 zoning designation for residential uses within Office/Residential. Although the office development remains the primary intent for this area, the residential component, as a secondary use will increase the level of activity in this area providing better linkage and compatibility with the adjacent residential neighborhoods in the Village.

The project as designed and conditioned satisfies all the requirements for a density bonus as specified in Municipal Code Section 9.09.150. The requirements for a density bonus include the commitment to the ongoing use as a senior complex, and identification of amenities and assurances that amenities will remain available. The project amenities include a 1,033 square foot recreation room for residents, a laundry room with washers and dryers, and an outdoor area with barbeques and seating areas for the residents. The conditions of approval will ensure compliance with the Municipal Code requirements.

3. **Health, Safety and Welfare** – The proposed use will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

FACT: The proposed multifamily residential project as designed and conditioned will provide acceptable levels of protection from natural and man-made hazards to life, health, and property consistent with General Goal 9.6.1. The project site is located within approximately one mile from Fire Station No. 2. Therefore, adequate emergency services can be provided to the site consistent with General Plan Goal 9.6.2.

The proposed multifamily residential project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity. Planning staff has reviewed the project in accordance with the latest edition of the California Environmental Quality Act (CEQA) Guidelines and has determined that the project is exempt under the provisions of the CEQA as a Class 32 Categorical Exemption, CEQA Guidelines, Section 15332 for In-Fill Development Projects.

The Class 32 exemption applies to the multifamily residential project because the Plot Plan is consistent with the criteria of the exemption.

The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation, regulations including the Specific Plan 204 Village Office Residential which allows for multi-family development.

The proposed development occurs within city limits on a project site of .9 acres, which is less than the exemption requirement of five acres. In addition, the site is surrounded by existing urban uses, and has no value as habitat for endangered, rare or threatened species.

Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and can be adequately served by all required utilities and public services.

The project as designed and conditioned will result in a development that will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

The project as designed and conditioned will be required to comply with the Specific Plan 204, all applicable building codes, and the City's Municipal Code.

4. **Location, Design and Operation** – The location, design and operation of the proposed project will be compatible with existing and planned land uses in the vicinity.

FACT: The project site is surrounded by development with improved street frontage, curb gutter and sidewalk along Webster Avenue. The area surrounding the proposed project includes single-family residences, multi-family to the south, east and west with commercial uses to the north.

The project includes one two-story building with a total of twenty, one bedroom units with a center elevator and stairs at each end for access to the second floor. Each unit is approximately 548 square feet with additional private patio areas (320 square feet for the first floor units and 106 square feet for the second floor units) and a carport space for each unit. Common open space is located in the center courtyard of the project between the carports and residential

building. The common area includes barbeques and seating areas. A recreation building is located in the front portion of the site for the residents along with a laundry room and an adjacent office.

As designed and conditioned the proposed multifamily residential project is compatible with existing and proposed land uses in the vicinity.

C. FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

1. FEES

Impact, mitigation and other fees are due and payable under currently applicable ordinances and resolutions. These fees may include but are not limited to Development Impact Fee, Transportation Uniform Mitigation Fee (TUMF), Multi-species Habitat Conservation Plan (MSHCP) Mitigation Fee, Stephens Kangaroo Habitat Conservation fee, Underground Utilities in lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future) and Traffic Signal Mitigation fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.

Unless otherwise provided for by this Resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in the applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

2. DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

The adopted Conditions of Approval for PEN16-0066, incorporated herein by reference, may include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

3. CITY RIGHT TO MODIFY/ADJUST; PROTEST LIMITATIONS

The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d) (1), NOTICE IS FURTHER GIVEN that the 90 day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this

Resolution and any such protest must be in a manner that complies with Section 66020(a) and failure to timely follow this procedure will bar any subsequent legal action to attack, review, set aside, void or annul imposition.

The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which a notice has been given similar to this, nor does it revive challenges to any fees for which the applicable statute of limitations has previously expired.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution No. 2019-09, and thereby:

- 1. **CERTIFY** that PEN16-0066 (PA15-0031), a Plot Plan for a 20-unit senior complex is exempt from the provisions of the California Environmental Quality Act (CEQA), as a Class 32 Categorical Exemption, CEQA Guidelines, Section 15332 for In-Fill Development Projects; and
- 2. **APPROVE** Plot Plan PEN16-0066 (PA15-0031) based on the findings contained in this resolution, and subject to the attached conditions of approval included as Exhibit A.

APPROVED on this 14th day of February 2019.

AYES:
NOES:
ABSTAIN:

Jeffrey Barnes
Chair, Planning Commission

ATTEST:

APPROVED AS TO FORM:

Patty Nevins, Planning Official

City Attorney

Attached: Conditions of Approval

CONDITIONS OF APPROVAL

Plot Plan (PEN16-0066)

Page 1

CITY OF MORENO VALLEY
 CONDITIONS OF APPROVAL
 Plot Plan (PEN16-0066)

EFFECTIVE DATE:

EXPIRATION DATE:

COMMUNITY DEVELOPMENT DEPARTMENTPlanning Division

1. A change or modification to the land use or the approved site plans may require a separate approval. Prior to any change or modification, the property owner shall contact the City of Moreno Valley Community Development Department to determine if a separate approval is required.
2. Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s). (MC 9.02.080)
3. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
4. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
5. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
6. This project is located within Specific Plan 204. The provisions of the specific plan, the design manual, their subsequent amendments, and the Conditions of Approval shall prevail unless modified herein. (MC 9.13)
7. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)

CONDITIONS OF APPROVAL

Plot Plan (PEN16-0066)

Page 2

8. Any signs indicated on the submitted plans are not included with this approval. Any signs, whether permanent (e.g. wall, monument) or temporary (e.g. banner, flag), require separate application and approval by the Planning Division. No signs are permitted in the public right of way. (MC 9.12)
9. All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.

Special Conditions

10. The site has been approved for 20-Unit Senior Apartment Complex located on a .9-acre parcel in the Specific Plan 204 Village Office/Residential. The 20-unit senior project shall be designed and operated consistent with the standards of the City's Municipal Code Section 9.09.150 which applies to senior housing. A change or modification shall require separate approval.
11. The senior housing project shall include no more than twenty (20) units per the approved density bonus requirements in Section 9.09.150 of the City's Municipal Code.
12. The 20-unit senior project shall commit to the ongoing use as a senior complex and provide continuously the following, a 1,033 indoor recreation area, a laundry room with washers and dryers, an outdoor area with barbeques and seating areas for residents per the approved plans and the City's Municipal Code requirements in section 9.09.150. Acceptance of these Conditions of Approval constitutes agreement to comply with the current requirements of the Municipal Code regarding development and operations of a senior complex per section 9.09.150.
13. No driveway gates shall be installed as vehicle stacking requirements cannot be met.

Prior to Grading Permit

14. Prior to issuance of any grading permit, all Conditions of Approval shall be printed on the grading plans.
15. Prior to the issuance of grading permits, decorative (e.g. colored/scored concrete or as approve by the Planning Official) pedestrian pathways across circulation aisles/paths shall be provided throughout the development to connect dwellings with open spaces and/or recreational uses or commercial/industrial buildings with open space and/or parking. and/or the public right-of-way. The pathways shall be shown on the precise grading plan. (GP Objective 46.8, DG)

CONDITIONS OF APPROVAL

Plot Plan (PEN16-0066)

Page 3

16. Prior to issuance of grading permits, the developer shall pay the applicable Stephens' Kangaroo Rat (SKR) Habitat Conservation Plan mitigation fee. (Ord)
17. If potential historic, archaeological, Native American cultural resources or paleontological resources are uncovered during excavation or construction activities at the project site, work in the affected area must cease immediately and a qualified person (meeting the Secretary of the Interior's standards (36CFR61)) shall be consulted by the applicant to evaluate the find, and as appropriate recommend alternative measures to avoid, minimize or mitigate negative effects on the historic, prehistoric, or paleontological resource. Determinations and recommendations by the consultant shall be immediately submitted to the Planning Division for consideration, and implemented as deemed appropriate by the Community Development Director, in consultation with the State Historic Preservation Officer (SHPO) and any and all affected Native American Tribes before any further work commences in the affected area.

If human remains are discovered during grading and other construction excavation, no further disturbance shall occur until the County Coroner has made necessary findings as to origin. If the County Coroner determines that the remains are potentially Native American, the California Native American Heritage Commission shall be notified within 5-days of the published finding to be given a reasonable opportunity to identify the "most likely descendant." The "most likely descendant" shall then make recommendations, and engage in consultations concerning the treatment of the remains (California Public Resources Code 5097.98). (GP Objective 23.3, CEQA).

18. Prior to the issuance of grading permits, the site plan and grading plans shall show decorative hardscape (e.g. colored concrete, stamped concrete, pavers or as approved by the Planning Official) consistent and compatible with the design, color and materials of the proposed development for all driveway ingress/egress locations of the project.
19. Prior to issuance of grading permits, the developer shall submit wall/fence plans to the Planning Division for review and approval as follows:
 - A. A six foot (6') high solid decorative block perimeter wall with pilasters and a cap is required.
 - B. If any retaining walls are required, they shall also be decorative in nature, while the combination of retaining and other walls on top shall not exceed the height requirement.
20. Prior to issuance of grading permits, the location of the trash enclosure shall be

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included on the plans.

Prior to Building Permit

21. Prior to issuance of any building permit, all Conditions of Approval shall be printed on the building plans.
22. Prior to the issuance of building permits, the developer shall provide documentation that contact was made to the U.S. Postal Service to determine the appropriate type and location of mailboxes.
23. Prior to the issuance of building permits, proposed covered trash enclosures shall be included in the Planning review of the Fence and Wall plan or separate Planning submittal. The trash enclosure(s), including the roof materials, shall be compatible with the architecture, color and materials of the building(s) design. Trash enclosure areas shall include landscaping on three sides. Approved design plans shall be included in a Building submittal (Fence and Wall or building design plans). (GP Objective 43.6, DG)
24. Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approved by the Planning Division. After the third plan check review for landscape plans, an additional plan check fee shall apply. The plans shall be prepared in accordance with the City's Landscape Requirements and shall include:
 - A. Drought tolerant landscape shall be used. Sod shall be limited to gathering areas.
 - B. Street trees shall be provided every 40 feet on center in the right of way.
 - C. On-site trees shall be planted at an equivalent of one (1) tree per thirty (30) linear feet of the perimeter of a parking lot and per thirty linear feet of a building dimension for the portions of the building visible from a parking lot or right of way. Trees may be massed for pleasing aesthetic effects.
 - D. Enhanced landscaping shall be provided at all driveway entries and street corner locations. The review of all utility boxes, transformers etc. shall be coordinated to provide adequate screening from public view.
 - E. Landscaping on three sides of any trash enclosure.
 - F. All site perimeter and parking lot landscape and irrigation shall be installed prior to building final or any occupancy permits for the site.

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25. Prior to issuance of building permits, the Planning Division shall review and approve the location and method of enclosure or screening of transformer cabinets, commercial gas meters and back flow preventers as shown on the final working drawings. Location and screening shall comply with the following criteria: transformer cabinets and commercial gas meters shall not be located within required setbacks and shall be screened from public view either by architectural treatment or landscaping; multiple electrical meters shall be fully enclosed and incorporated into the overall architectural design of the building(s); back-flow preventers shall be screened by landscaping. (GP Objective 43.30)
26. Prior to issuance of a building permit, the developer/property owner or developer's successor-in-interest shall pay all applicable impact fees due at permit issuance, including but not limited to Multi-species Habitat Conservation Plan (MSHCP) mitigation fees. (Ord)
27. Prior to building final, the developer/owner or developer's/owner's successor-in-interest shall pay all applicable impact fees, including but not limited to Transportation Uniform Mitigation fees (TUMF), and the City's adopted Development Impact Fees. (Ord)
28. Prior to or at building plan check submittal, the elevation plans shall include decorative lighting sconces on all sides of the buildings of the complex facing a parking lot, courtyard or plaza, or public right of way or open space to provide up-lighting and shadowing on the structures. Include drawings of the sconce details for each building within the elevation plans, approved by the Planning Division prior to building permit issuance.
29. Prior to or at building plan check submittal, two copies of a detailed, on-site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be submitted to the Planning Division for review and approval prior to the issuance of a building permit. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used, shall include style, illumination, location, height and method of shielding per the City's Municipal Code requirements. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, 9.16.280)
30. Prior to issuance of building permits, screening details shall be addressed on the building plans for roof top equipment submitted for Planning Division review and approval through the building plan check process. All equipment shall be completely screened so as not to be visible from public view, and the screening shall be an integral part of the building.

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Prior to Building Final or Occupancy

31. Prior to building final, all required landscaping and irrigation shall be installed per plan, certified by the Landscape Architect and inspected by the Planning Division. (MC 9.03.040, MC 9.17).
32. Prior to building final, Planning approved/stamped landscape plans shall be provided to the Community Development Department – Planning Division on a CD disk.
33. Prior to building final, all required and proposed fences and walls shall be constructed according to the approved plans on file in the Planning Division. (MC 9.080.070).

COMMUNITY DEVELOPMENT DEPARTMENTBuilding Division

34. The proposed residential project (3 or more dwelling units) shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11A for accessibility standards for the disabled including access to the site, exits, kitchens, bathrooms, common spaces, pools/spas, etc.
35. Prior to submittal, all new development, including residential second units, are required to obtain a valid property address prior to permit application. Addresses can be obtained by contacting the Building Safety Division at 951.413.3350.
36. Contact the Building Safety Division for permit application submittal requirements.
37. Any construction within the city shall only be completed between the hour of seven a.m. to seven p.m. Monday through Friday, excluding holidays and from eight a.m. to four p.m. on Saturday, unless written approval is obtained from the city building official or city engineer (Municipal Code Section 8.14.040.E).
38. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
39. The proposed development is subject to the payment of applicable processing fees as required by the City's current Fee Ordinance at the time a building permit application is submitted or prior to the issuance of permits as determined by the City.
40. The proposed project will be subject to approval by the Eastern Municipal Water

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District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.

41. All new structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc. The current code edition is the 2016 CBC.
42. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the 2016 California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
43. The proposed residential project shall comply with The 2016 California Green Building Standards Code, Section 4.106.4, mandatory requirements for Electric Vehicle Charging Station (EVCS).
44. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)

FIRE DEPARTMENT**Fire Prevention Bureau**

45. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire alarm system monitored by an approved Underwriters Laboratory listed central station based on a requirement for monitoring the sprinkler system, occupancy or use. Fire alarm panel shall be accessible from exterior of building in an approved location. Plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9 and MVMC 8.36.100)
46. Prior to issuance of Building Permits, the applicant/developer shall participate in the Fire Impact Mitigation Program. (Fee Resolution as adopted by City Council)
47. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D]) Due to limited available fire flow, applicant shall install a NFPA 13 system and upgrade construction type to 3A as addressed in Route for Review

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- 7.
48. Multi-family residences shall display the address in accordance with the Riverside County Fire Department Premises Identification standard 07-01. (CFC 505.1)
49. All Fire Department access roads or driveways shall not exceed 12 percent grade. (CFC 503.2.7 and MVMC 8.36.060[G])
50. The Fire Department emergency vehicular access road shall be (all weather surface) capable of sustaining an imposed load of 80,000 lbs. GVW, based on street standards approved by the Public Works Director and the Fire Prevention Bureau. The approved fire access road shall be in place during the time of construction. Temporary fire access roads shall be approved by the Fire Prevention Bureau. (CFC 501.4, and MV City Standard Engineering Plan 108d)
51. The angle of approach and departure for any means of Fire Department access shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m), and the design limitations of the fire apparatus of the Fire Department shall be subject to approval by the AHJ. (CFC 503 and MVMC 8.36.060)
52. Prior to construction, all locations where structures are to be built shall have an approved Fire Department access based on street standards approved by the Public Works Director and the Fire Prevention Bureau. (CFC 501.4)
53. Prior to issuance of Building Permits, the applicant/developer shall provide the Fire Prevention Bureau with an approved site plan for Fire Lanes and signage. (CFC 501.3)
54. Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations in accordance with City specifications. (CFC 509.1 and MVLT 440A-0 through MVLT 440C-0)
55. Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3) a - After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.
56. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes,

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which are in effect at the time of building plan submittal.

57. The Fire Code Official is authorized to enforce the fire safety during construction requirements of Chapter 33. (CFC Chapter 33 & CBC Chapter 33)
58. Fire lanes and fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet and an unobstructed vertical clearance of not less than thirteen (13) feet six (6) inches. (CFC 503.2.1 and MVMC 8.36.060[E])
59. Prior to issuance of the building permit for development, independent paved access to the nearest paved road, maintained by the City shall be designed and constructed by the developer within the public right of way in accordance with City Standards. (MVMC 8.36.060, CFC 501.4)
60. Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506.1)
61. The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with the C.F.C., MVMC, and NFPA 24. Fire hydrants shall be located no closer than 40 feet to a building. A fire hydrant shall be located within 50 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are (6" x 4" x 2 1/2" x 2 1/2") (CFC 507.5.1, 507.5.7, Appendix C, NFPA 24-7.2.3, MVMC 912.2.1)
62. Fire Department access driveways over 150 feet in length shall have a turn-around as determined by the Fire Prevention Bureau capable of accommodating fire apparatus. (CFC 503 and MVMC 8.36.060, CFC 501.4)
63. During phased construction, dead end roadways and streets which have not been completed shall have a turn-around capable of accommodating fire apparatus. (CFC 503.1 and 503.2.5)
64. If construction is phased, each phase shall provide an approved emergency vehicular access way for fire protection prior to any building construction. (CFC 501.4)
65. Plans for private water mains supplying fire sprinkler systems and/or private fire hydrants shall be submitted to the Fire Prevention Bureau for approval. (CFC 105 and CFC 3312.1)
66. The Fire Prevention Bureau is required to set a minimum fire flow for the remodel or

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construction of all commercial buildings per CFC Appendix B and Table B105.1. The applicant/developer shall provide documentation to show there exists a water system capable of delivering said waterflow for 2 hour(s) duration at 20-PSI residual operating pressure. The required fire flow may be adjusted during the approval process to reflect changes in design, construction type, or automatic fire protection measures as approved by the Fire Prevention Bureau. Specific requirements for the project will be determined at time of submittal. (CFC 507.3, Appendix B)

67. Prior to construction, all traffic calming designs/devices must be approved by the Fire Marshal and City Engineer.
68. Prior to building construction, dead end roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5)
69. Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Fire Prevention Bureau for review. Plans shall:
 - a. Be signed by a registered civil engineer or a certified fire protection engineer;
 - b. Contain a Fire Prevention Bureau approval signature block; and
 - c. Conform to hydrant type, location, spacing of new and existing hydrants and minimum fire flow required as determined by the Fire Prevention Bureau. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.

PUBLIC WORKS DEPARTMENT**Land Development**

70. Aggregate slurry, as defined in Section 203-5 of Standard Specifications for Public Works Construction, may be required just prior to the end of the one-year warranty period of the public streets at the discretion of the City Engineer. If slurry is required, a slurry mix design shall be submitted for review and approved by the City Engineer. The latex additive shall be Ultra Pave 70 (for anionic) or Ultra Pave 65 K (for cationic) or an approved equal per the geotechnical report. The latex shall be added at the emulsion plant after weighing the asphalt and before the addition of mixing water. The latex shall be added at a rate of two to two-and-one-half (2 to 2½) parts to one-hundred (100) parts of emulsion by volume. Any existing striping shall be removed prior to slurry application and replaced per City standards.
71. The developer shall comply with all applicable City ordinances and resolutions including the City's Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). [MC 9.14.010]

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72. The final approved conditions of approval (COAs) and any applicable Mitigation Measures issued by the Planning Division shall be photographically or electronically placed on mylar sheets and included in the Grading and Street Improvement plans.
73. The developer shall monitor, supervise and control all construction related activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
- (a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - (b) Observance of working hours as stipulated on permits issued by the Land Development Division.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
 - (d) All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements during the grading operations.
- Violation of any condition, restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedy as noted in City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
74. In the event right-of-way or offsite easements are required to construct offsite improvements necessary for the orderly development of the surrounding area to meet the public health and safety needs, the developer shall make a good faith effort to acquire the needed right-of-way in accordance with the Land Development Division's administrative policy. If unsuccessful, the Developer shall enter into an agreement with the City to acquire the necessary right-of-way or offsite easements and complete the improvements at such time the City acquires the right-of-way or offsite easements which will permit the improvements to be made. The developer shall be responsible for all costs associated with the right-of-way or easement acquisition. [GC 66462.5]
75. If improvements associated with this project are not initiated within two (2) years of the date of approval of the Public Improvement Agreement (PIA), the City Engineer may require that the engineer's estimate for improvements associated with the project be modified to reflect current City construction costs in effect at the time of request for an extension of time for the PIA or issuance of a permit. [MC 9.14.210(B)(C)]
76. The developer shall protect downstream properties from damage caused by alteration of drainage patterns (i.e. concentration or diversion of flow, etc). Protection shall be provided by constructing adequate drainage facilities, including,

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- but not limited to, modifying existing facilities or by securing a drainage easement. [MC 9.14.110]
77. Public drainage easements, when required, shall be a minimum of 25 feet wide and shall be shown on the map and plan, and noted as follows: "Drainage Easement – no structures, obstructions, or encroachments by land fills are allowed." In addition, the grade within the easement area shall not exceed a 3:1 (H:V) slope, unless approved by the City Engineer.
 78. The maintenance responsibility of the proposed storm drain line shall be clearly identified. Storm drain lines within private property will be privately maintained and those within public streets will be publicly maintained.
 79. This project shall submit civil engineering design plans, reports and/or documents (prepared by a registered/licensed civil engineer) for review and approval by the City Engineer per the current submittal requirements, prior to the indicated threshold or as required by the City Engineer. The submittal consists of, but is not limited to, the following:
 - a. Rough grading w/ erosion control plan (prior to grading permit issuance);
 - b. Precise grading w/ erosion control plan prior to building permit issuance;
 - c. Public improvement plan (e.g., street/storm drain w/ striping, RCFC storm drain, sewer/water, etc.) prior to encroachment permit issuance;
 - d. Final drainage study (prior to grading plan approval);
 - e. Any legal documents (e.g., easement(s), dedication(s), lot line adjustment, vacation, etc.) prior to building permit issuance;
 - f. As-Built revision for all plans (prior to Occupancy release);
 80. Water quality best management practices (BMPs) designed to meet Water Quality Management Plan (WQMP) requirements not be used as a construction BMP. Water quality BMPs shall be maintained for the entire duration of the project construction and be used to treat runoff from those developed portions of the project. Water quality BMPs shall be protected from upstream construction related runoff by having proper best management practices in place and maintained. Water quality BMPs shall be graded per the approved design plans.

Prior to Grading Permit

81. A receipt showing payment of the Area Drainage Plan (ADP) fee to Riverside County Flood Control and Water Conservation District shall be submitted. [MC 9.14.100(O)]
82. A digital (pdf) copy of all approved grading plans shall be submitted to the Land Development Division.

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83. Security, in the form of a cash deposit (preferable), or letter of credit shall be submitted as a guarantee of the implementation and maintenance of erosion control measures. At least twenty-five (25) percent of the required security shall be in the form of a cash deposit with the City. [MC 8.21.160(H)]
84. Security, in the form of a cash deposit (preferable), or letter of credit shall be submitted as a guarantee of the completion of the grading operations for the project. [MC 8.21.070]
85. The developer shall pay all applicable inspection fees.

Prior to Improvement Plan Approval

86. The developer is required to bring any existing access ramps adjacent to and fronting the project to current ADA (Americans with Disabilities Act) requirements. However, when work is required in an intersection that involves or impacts existing access ramps, all access ramps in that intersection shall be retrofitted to comply with current ADA requirements, unless otherwise approved by the City Engineer.
87. The developer shall submit clearances from all applicable agencies, and pay all applicable plan check fees.
88. The street improvement plans shall comply with current City policies, plans and applicable City standards (i.e. MVS1-160 series, etc.) throughout this project.
89. The design plan and profile shall be based upon a centerline, extending beyond the project boundaries a minimum distance of 300 feet at a grade and alignment approved by the City Engineer.
90. The hydrology study shall be designed to accept and properly convey all off-site drainage flowing onto or through the site. In the event that the City Engineer permits the use of streets for drainage purposes, the provisions of current City standards shall apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, as in the case where one travel lane in each direction shall not be used for drainage conveyance for emergency vehicle access on streets classified as minor arterials and greater, the developer shall provide adequate facilities as approved by the City Engineer. [MC 9.14.110 A.2]
91. All public improvement plans (prepared by a licensed/registered civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
92. Pavement core samples of existing pavement shall be taken and findings submitted to the City for review and consideration of pavement improvements. The City will

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determine the adequacy of the existing pavement structural section. The City Engineer may require the ultimate structural section for pavement to half-street width plus 12 feet based on the test results confirming that existing pavement section is or is not per current City Standards; additional signing & striping to accommodate increased traffic imposed by the development, etc. If the existing pavement structural section is found to be adequate, the developer may still be required to perform a one-tenth inch grind and overlay or slurry seal depending on the severity of existing pavement cracking, as required by the City Engineer. Any missing or deficient existing improvements along the project frontage shall be constructed or secured for construction.

93. For non-subdivision projects, all street dedications shall be free of encumbrances, irrevocably offered to the public and shall continue in force until the City accepts or abandons such offers, unless otherwise approved by the City Engineer.
94. All dry and wet utilities shall be shown on the plans and any crossings shall be potholed to determine actual location and elevation. Any conflicts shall be identified and addressed on the plans. The pothole survey data shall be submitted to Land Development with the public improvement plans for reference purposes only. The developer is responsible to coordinate with all affected utility companies and bear all costs of any utility relocation.
95. Driveway shall be per City Standard MVSI-112C-0. The driveway width as indicated per City Standard (between 24' & 40'), a 4' right-of-way dedication is shown per Standard for pedestrian sidewalk, and no decorative pavers are allowed in the right-of-way.

Prior to Encroachment Permit

96. A digital (pdf) copy of all approved improvement plans shall be submitted to the Land Development Division.
97. All applicable inspection fees shall be paid.
98. For non-subdivision projects, execution of a Public Improvement Agreement (PIA) and/or security (in the form of a cash deposit or other approved means) may be required as determined by the City Engineer. [MC 9.14.220]
99. Any work performed within public right-of-way requires an encroachment permit.

Prior to Building Permit

100. An engineered-fill certification, rough grade certification and compaction report shall be submitted for review and approved by the City Engineer. A digital (pdf) copy of

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the approved compaction report shall be submitted to the Land Development Division. All pads shall meet pad elevations per approved grading plans as noted by the setting of "blue-top" markers installed by a registered land surveyor or licensed civil engineer.

101. For non-subdivision projects, the developer shall guarantee the completion of all related public improvements required for this project by executing a Public Improvement Agreement (PIA) with the City and posting the required security. [MC 9.14.220]
102. For non-subdivision projects, all street dedications shall be free of encumbrances, irrevocably offered to the public and shall continue in force until the City accepts or abandons such offers, unless otherwise approved by the City Engineer.
103. A walk through with a Land Development Inspector shall be scheduled to inspect existing improvements within public right of way along project frontage. Any missing, damaged or substandard improvements including handicap access ramps that do not meet current City standards shall be required to be installed, replaced and/or repaired. The applicant shall post security to cover the cost of the repairs and complete the repairs within the time allowed in the public improvement agreement used to secure the improvements.
104. Certification to the line, grade, flow test and system invert elevations for the water quality control BMPs shall be submitted for review and approved by the City Engineer (excluding models homes).

Prior to Occupancy

105. All outstanding fees shall be paid.
106. All required as-built plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
107. The final/precise grade certification shall be submitted for review and approved by the City Engineer.
108. For commercial, industrial and multi-family projects, in compliance with Proposition 218, the developer shall agree to approve the City of Moreno Valley NPDES Regulatory Rate Schedule that is in place at the time of certificate of occupancy issuance. Under the current permit for storm water activities required as part of the National Pollutant Discharge Elimination System (NPDES) as mandated by the Federal Clean Water Act, this project is subject to the following requirements:
 - a. Select one of the following options to meet the financial responsibility to

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provide storm water utilities services for the required continuous operation, maintenance, monitoring system evaluations and enhancements, remediation and/or replacement, all in accordance with Resolution No. 2002-46.

i. Participate in the mail ballot proceeding in compliance with Proposition 218, for the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule and pay all associated costs with the ballot process; or

ii. Establish an endowment to cover future City costs as specified in the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule.

b. Notify the Special Districts Division of the intent to request building permits 90 days prior to their issuance and the financial option selected. The financial option selected shall be in place prior to the issuance of certificate of occupancy. [California Government Code & Municipal Code]

109. The developer shall complete all public improvements in conformance with current City standards, except as noted in the Special Conditions, including but not limited to the following:

a. Street improvements including, but not limited to: pavement, base, curb and/or gutter, cross gutters, spandrel, sidewalks, drive approaches, pedestrian ramps, street lights, signing, striping, under sidewalk drains, landscaping and irrigation, medians, pavement tapers/transitions and traffic control devices as appropriate.

b. Storm drain facilities including, but not limited to: storm drain pipe, storm drain laterals, open channels, catch basins and local depressions.

c. City-owned utilities.

d. Sewer and water systems including, but not limited to: sanitary sewer, potable water and recycled water.

e. Under grounding of all existing and proposed utilities adjacent to and on-site. [MC 9.14.130]

f. Relocation of overhead electrical utility lines including, but not limited to: electrical, cable and telephone.

110. For commercial, industrial and multi-family projects, a "Stormwater Treatment Device and Control Measure Access and Maintenance Covenant" shall be recorded to provide public notice of the maintenance requirements to be implemented per the approved final project-specific WQMP. A boilerplate copy of the "Stormwater Treatment Device and Control Measure Access and Maintenance Covenant" can be obtained by contacting the Land Development Division.

111. The applicant shall ensure the following, pursuant to Section XII. I. of the 2010 NPDES Permit:

a. Field verification that structural Site Design, Source Control and Treatment Control BMPs are designed, constructed and functional in accordance with the

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approved Final Water Quality Management Plan (WQMP).

b. Certification of best management practices (BMPs) from a state licensed civil engineer. An original WQMP BMP Certification shall be submitted for review and approved by the City Engineer.

112. The Developer shall comply with the following water quality related items:

a. Notify the Land Development Division prior to construction and installation of all structural BMPs so that an inspection can be performed.

b. Demonstrate that all structural BMPs described in the approved final project-specific WQMP have been constructed and installed in conformance with the approved plans and specifications;

c. Demonstrate that Developer is prepared to implement all non-structural BMPs described in the approved final project-specific WQMP; and

d. Demonstrate that an adequate number of copies of the approved final project-specific WQMP are available for future owners/occupants.

e. Clean and repair the water quality BMP's, including re-grading to approved civil drawing if necessary.

f. Obtain approval and complete installation of the irrigation and landscaping.

Special Conditions

113. Webster Avenue, Local Street, City Standard MVSI-107A (modified 60-foot RW / 40-foot CC) shall be constructed to half-width plus an additional 12 feet north/south of the centerline, along the entire project's frontage depending on the pavement core samples of the existing pavement. Improvements shall consist of, but not be limited to, pavement, base, redwood header, curb, gutter, sidewalk, driveway approaches, drainage structures, any necessary offsite improvement transition/joins to existing, streetlights, pedestrian ramps.

114. Removal/relocation and/or undergrounding of any power poles with overhead utility lines less than 115,000 volts, and dry and wet utilities within the project site or as required per City Code.

Special Districts Division

115. The ongoing maintenance of any landscaping required to be installed behind the curb shall be the responsibility of the property owner.

116. Street Light Authorization forms for all street lights that are conditioned to be installed as part of this project must be submitted to the Special Districts Division for approval, prior to street light installation. The Street Light Authorization form can be obtained from the utility company providing electric service to the project, either Moreno Valley Utility or Southern California Edison. For questions, contact the

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Special Districts Division at 951.413.3480 or specialdistricts@moval.org.

117. The Moreno Valley Community Services District Zone A (Parks & Community Services) tax is assessed per parcel or per dwelling unit for parcels with more than one dwelling unit. Upon the issuance of building permits, the Zone A tax will be assessed based on 20 dwelling units.
118. The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks & Community Services) and Zone C (Arterial Street Lighting). All assessable parcels therein shall be subject to annual parcel taxes for Zone A and Zone C for operations and capital improvements.

Prior to Building Permit

119. Prior to the issuance of the first building permit for this project, the Developer shall pay Advanced Energy fees for all applicable Residential and Arterial Street Lights required for this development. Payment shall be made to the City of Moreno Valley and collected by the Land Development Division. Fees are based upon the Advanced Energy fee rate in place at the time of payment, as set forth in the current Listing of City Fees, Charges, and Rates adopted by City Council. The Developer shall provide a copy of the receipt to the Special Districts Division (specialdistricts@moval.org). Any change in the project which may increase the number of street lights to be installed will require payment of additional Advanced Energy fees at the then current fee. Questions may be directed to the Special Districts Division at 951.413.3480 or specialdistricts@moval.org.
120. This project is conditioned for a proposed district to provide a funding source for the operation and maintenance of public improvements and/or services associated with new development in that territory. The Developer shall satisfy this condition with one of the options outlined below.
- a. Participate in a special election for maintenance/services and pay all associated costs of the election process and formation, if any. Financing may be structured through a Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or
 - b. Establish an endowment fund to cover the future maintenance and/or service costs.

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance. If the first building permit is pulled prior to formation of the district, this condition will not apply. If the district has been or is in the process of being formed

CONDITIONS OF APPROVAL

Plot Plan (PEN16-0066)

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the Developer must inform the Special Districts Division of its selected financing option (a. or b. above). The option for participating in a special election requires 90 days to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

The financial option selected shall be in place prior to the issuance of the first certificate of occupancy for the project.

121. This project is conditioned to provide a funding source for the following special financing program(s):

a. Street Lighting Services for capital improvements, energy charges, and maintenance.

The Developer's responsibility is to provide a funding source for the capital improvements and the continued maintenance. The Developer shall satisfy this condition with one of the options below.

i. Participate in a special election (mail ballot proceeding) and pay all associated costs of the special election and formation, if any. Financing may be structured through a Community Services District zone, Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or

ii. Establish a Property Owner's Association (POA) or Home Owner's Association (HOA) which will be responsible for any and all operation and maintenance costs

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org of its selected financial option when submitting the application for building permit issuance. The option for participating in a special election requires approximately 90 days to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

The financial option selected shall be in place prior to the issuance of the first certificate of occupancy for the project and prior to acceptance of any improvements.

122. This project has been conditioned to provide a funding source for the continued maintenance, enhancement, and or retrofit of neighborhood parks, open spaces, linear parks, and/or trails systems. The Developer shall satisfy this condition with one of the options below.

a. Participate in a special election for annexation into Community Facilities

CONDITIONS OF APPROVAL

Plot Plan (PEN16-0066)

Page 20

District No. 1 or other district and pay all associated costs with the special election process and formation, if any; or

b. Establish an endowment fund to cover future maintenance costs for new neighborhood parks.

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance of its selected financial option. If option a. is selected, the special election will require a 90 day process prior to building permit issuance. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

Annexation to CFD No. 1 shall be completed or proof of payment to establish the endowment fund shall be provided prior to the issuance of the first certificate of occupancy for the project.

123. Commercial (BP) If Land Development, a Division of the Public Works Department, requires this project to supply a funding source necessary to provide for, but not limited to, stormwater utilities services for the continuous operation, remediation and/or replacement, monitoring, systems evaluations and enhancement of on-site facilities and performing annual inspections of the affected areas to ensure compliance with state mandated stormwater regulations, a funding source needs to be established. The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org of its selected financial option for the National Pollution Discharge Elimination System (NPDES) program when submitting the application for the first building permit issuance (see Land Development's related condition). Participating in a special election the process requires a 90 day period prior to the City's issuance of a building permit. This allows adequate time to be in compliance with the provisions of Article 13D of the California Constitution. (California Health and Safety Code Sections 5473 through 5473.8 (Ord. 708 Section 3.1, 2006) & City of Moreno Valley Municipal Code Title 3, Section 3.50.050.)
124. This project has been identified to be included in the formation of a Community Facilities District (Mello-Roos) for Public Safety services, including but not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. The property owner(s) shall not protest the formation; however, they retain the right to object to the rate and method of maximum special tax. In compliance with Proposition 218, the property owner shall agree to approve the mail ballot proceeding (special election) for either formation of the CFD or annexation into an existing district. The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance to determine the requirement for participation. If the first

CONDITIONS OF APPROVAL

Plot Plan (PEN16-0066)

Page 21

building permit is pulled prior to formation of the district, this condition will not apply. If the condition applies, the special election will require a minimum of 90 days prior to issuance of the first building permit. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution. (California Government Code Section 53313 et. seq.)

Transportation Engineering Division

125. Conditions of approval may be modified or added if a phasing plan is submitted for this development.
126. The driveway shall conform to City of Moreno Valley Standard No. MVSI-112C-0 for Commercial Driveway Approaches. A gate is not approved for this project.
127. All proposed on-site traffic signing and striping should be accordance with the latest California Manual on Uniform Traffic Control Devices (CAMUTCD).
128. Prior to final approval of the landscape plans and construction plans for any type of fencing, the project plans shall demonstrate that sight distance at the project driveway conforms to City Standard Plan No. MVSI-164A-0 through MVSI-164C-0. Trees, plants, shrubs, fence and monument signage shall not be located in an area that obstructs the drivers' line-of-sight.
129. Prior to issuance of an encroachment permit for work within the public right-of-way, construction traffic control plans prepared by a qualified, registered Civil or Traffic Engineer shall be required for plan approval by the City Traffic Engineer.

PARKS & COMMUNITY SERVICES DEPARTMENT

130. This project is subject to current Development Impact Fees.
131. This project is required to supply a funding source for the continued maintenance, enhancement, and or retrofit of neighborhood parks, open spaces, linear parks, and/or trails systems. This can be achieved through annexing into Community Facilities District No. 1 (Park Maintenance). Please contact the Special Districts Division at 951.413.3480 or specialdistricts@moval.org to complete the annexation process.
132. This project is subject to current Quimby Fees.
133. The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks and Community Services). All assessable parcels therein shall be subject to the annual Zone 'A' charge for operations and capital improvements. Proof of such shall be supplied to Parks and

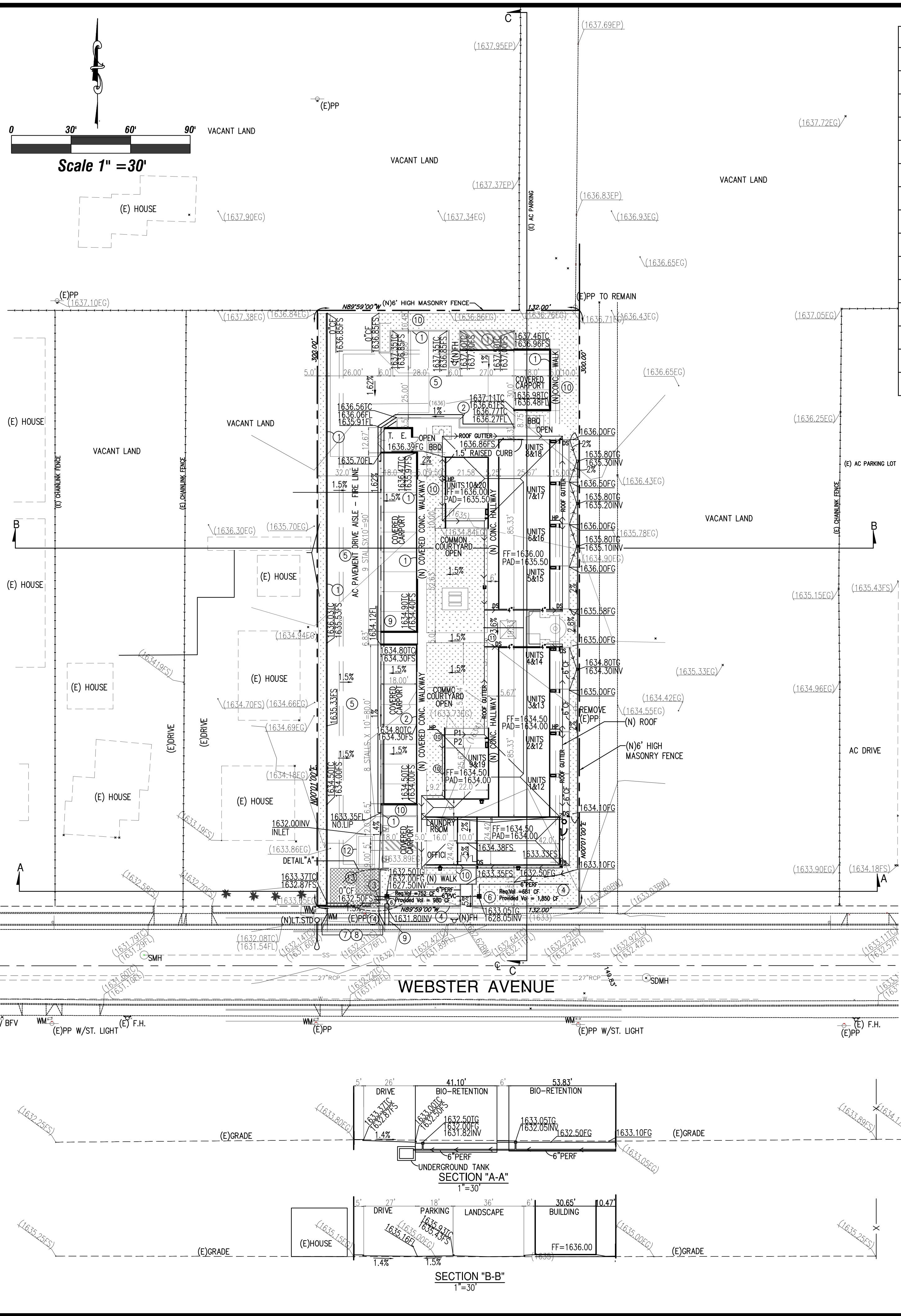
CONDITIONS OF APPROVAL

Plot Plan (PEN16-0066)

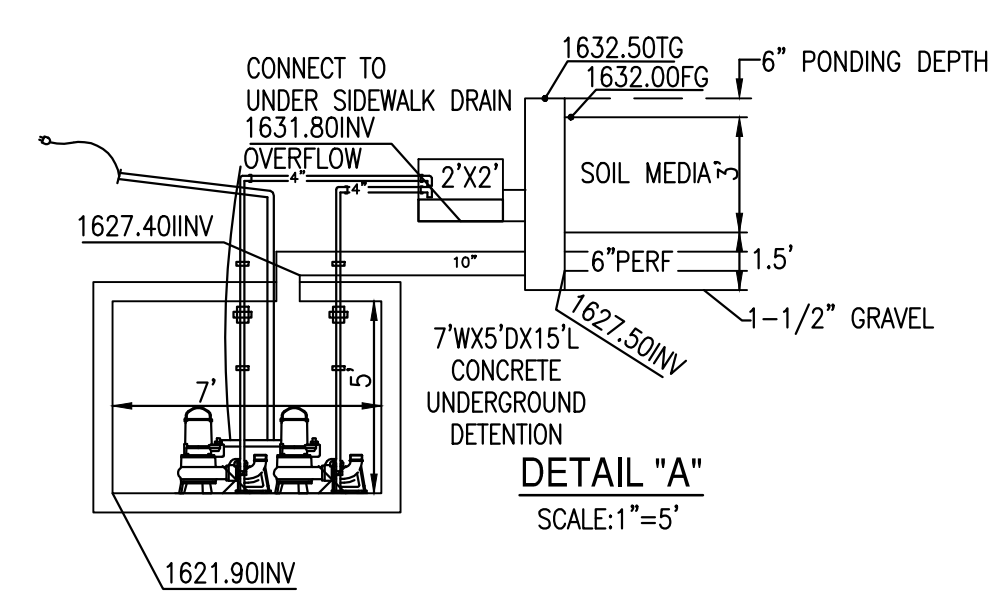
Page 22

Community Services upon Final Map and at Building Permits.

CONCEPTUAL GRADING PLAN SENIOR APARTMENT COMPLEX



CONSTRUCTION NOTES	
1	CONSTRUCT 6" CURB ONLY
2	CONSTRUCT CURB & GUTTER
3	CONSTRUCT 2' WIDE CURB OPENING
4	CONSTRUCT BIO-RETENTION WITH UNDERDRAIN
5	CONSTRUCT 4" AC/5" AB PER APPROVED SOILS REPORT
6	INSTALL 2'X2" NDS DRAIN
7	JOIN EXISTING IMPROVEMENT. VERIFY ELEVATION PRIOR TO CONSTRUCTION.
8	CONSTRUCT DRIVEWAY
9	CONSTRUCT 2' WIDE UNDER SIDEWALK DRAIN
10	CONSTRUCT LANDSCAPE PER LANDSCAPE PLAN
11	GUY TO BE RELOCATED
12	CONSTRUCT ELEVEN (2) 7'X15'X8" STORM CAPTURE UNDERGROUND DETENTION
13	INSTALL DUPLEX ZOELLER PUMP MODEL 621/1.5 HP OR APPROVED EQUAL
14	REMOVE EXISTING POWERPOLE
15	2'X2" CONC. BOX CONNECT TO UNDER SIDEWALK DRAIN



SYMBOL	DESCRIPTION
[Hatched Box]	APARTMENTS - 20 UNITS - 2 STORIES 1- BEDROOM 548. 0 S.F. EACH
[Open Box]	COMMON OPEN AREA - 6,075 S.F. TOTAL
[Cross-hatched Box]	OFFICE/REC. AREA - 1,429 S.F.
[Circle with T]	T. E.
[Dotted Box]	LANDSCAPING AREA
[Circle with X]	OUTSIDE LIGHTS MOUNTED ON BUILDING CONTROL BY TIMER

STATISTICAL SUMMARY

LOT SIZE: 131' X 301' = 39,431 S.F. = 0.91 ACRES

	FIRST FLOOR	SECOND FLOOR	TOTAL
APARTMENT AREA	6,262 S.F.	6,262 S.F.	12,524 S.F.
RECREATION & OFFICE	1,666 S.F.		1,666 S.F.
CARPORIT - 20 STD CARS	4,646 S.F.		4,646 S.F.
			12,574 S.F.

PARKING PROVIDED:
CARPORIT: 20 SPACES
VISITOR PARKING: 3 SPACES = 3 - (9' X 19') = 513 S.F.
HANDICAP PARKING: 2 SPACES

TRASH ENCLOSURE: 468 S.F.
PAVED DRIVEWAY: 9,123 S.F.

LANDSCAPE AREA:
PRIVATE YARD IN 1ST FLOOR : 2,125 S.F.
PRIVATE YARD IN 2ND FLOOR : 1,063 S.F.
COMMON LANDSCAPE AREA INCLUDING BBQ AREAS: 14,438 S.F.
TOTAL: 17,626 S.F.

BUILDING COVERAGE RATIO = 12,574 S.F. / 39,431 S.F. = 32%
LANDSCAPE COVERAGE RATIO = 17,626 S.F. / 39,431 S.F. = 45%

OCCUPANCY GROUP: R-2/S-2
CONSTRUCTION TYPE: V / A WITH FIRE SPRINKLER

FLOOD ZONE

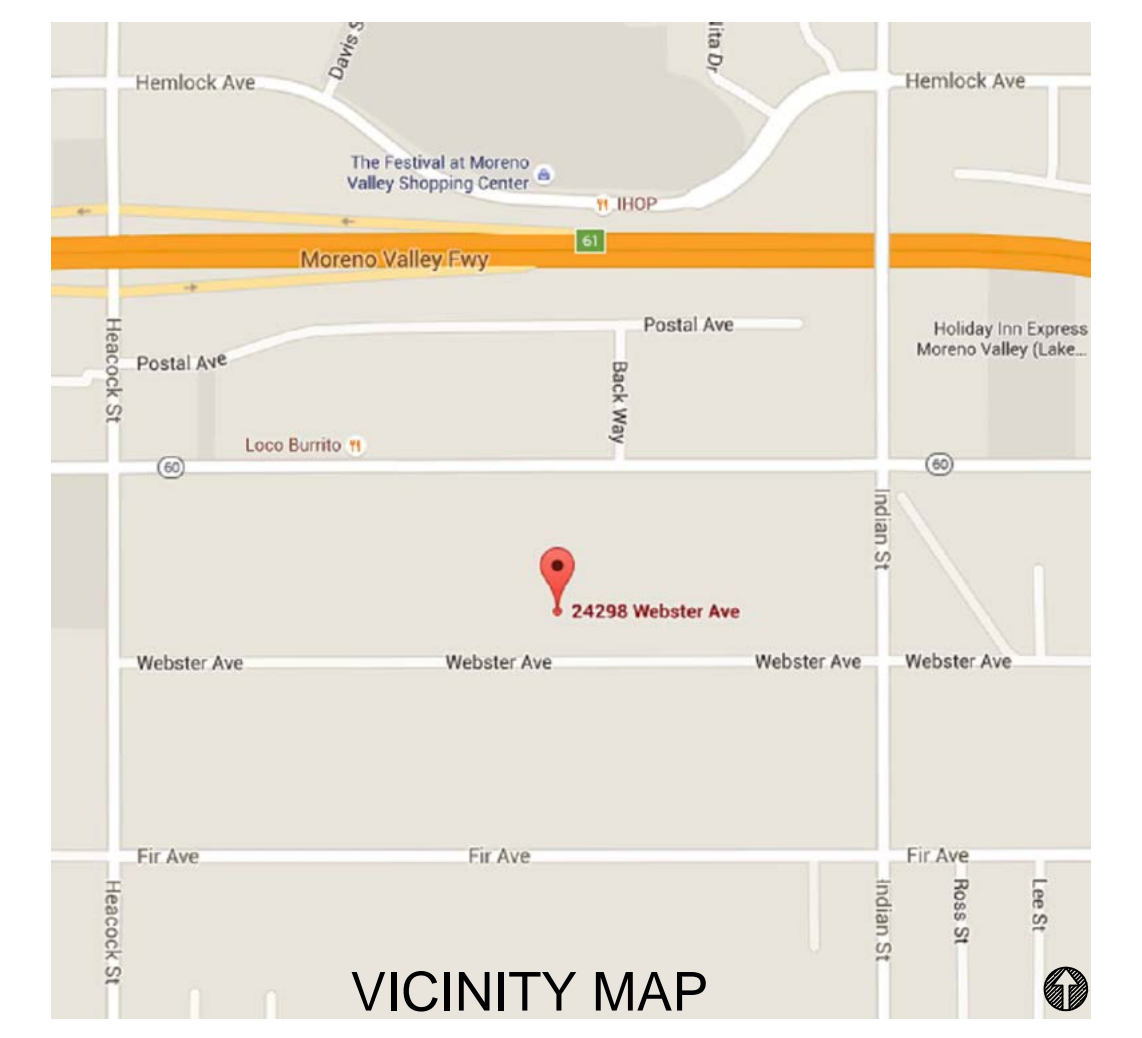
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ABBREVIATION

AB	AGGREGATE BASE	MH	MANHOLE
AC	ASPHALT	N&T	NAIL AND TAG
BW	BACK OF WALK	OH	OVERHEAD
CF	CURB FACE	PP	POWER POLE
CO	CLEANOUT	SD	STORM DRAIN
EG	EXISTING GROUND	SPK	SPIKE
FD	FOUND	TC	TOP OF CURB
FF	FINISH FLOOR	TW	TOP OF WALL
FG	FINISH GRADE	TB	TOP OF BERM
FL	FLOWLINE	WV	WATER VALVE
FS	FINISH SURFACE	W	WATER RECORD
HP	HIGH POINT	(R)	
HT	HEIGHT		
L&T	LEAD AND TAG		
RD	ROOF DRAIN		
CB	CATCH BASIN		

LEGEND

[Dashed Line]	CENTER LINE
[Solid Line]	PROPERTY LINE
[Chain Link]	CHAIN-LINK FENCE
[Dotted Line]	GAS LINE
[Solid Line]	SEWER LINE
[Dashed Line]	WATER LINE
[Thick Dashed Line]	CONC. WALL
[Circle with X]	EXISTING LIGHT
[Circle with S]	EXISTING STREET LIGHT
[Circle with BP]	EXISTING BACKFLOW PREVENTER
[Circle with WM]	EXISTING WATER METER
[Circle with SMH]	EXISTING SEWER MANHOLE
[Circle with PP]	POWER POLE
[Circle with GWA]	GUY WIRE ANCHOR
[Circle with CB]	CATCH BASIN
[Circle with FH]	FIRE HYDRANT



UTILITY COMPANIES

WATER AND SEWER:
EASTERN MUNICIPAL WATER DISTRICT
2270 TRUMBULE ROAD
P.O. BOX 8300
PERRIS, CA 92572-8300
(951) 928-3777

GAS:
SOUTHERN CALIFORNIA GAS COMPANY
P.O. BOX "C"
MONTEREY PARK, CA 91756
(800) 427-2000

ELECTRICITY:
SOUTHERN CALIFORNIA EDISON
P.O. BOX 6400
RANCHO CUCAMONGA, CA 91729
(800) 990-7788

TELEPHONE:
VERIZON
(866) 232-4282

ZONING:
ANNOTATION: SP204VOR
GENERAL LAND USE: OFFICE

AREA OF DISTURBANCE:
39,600 SF/ 0.91 ACRES

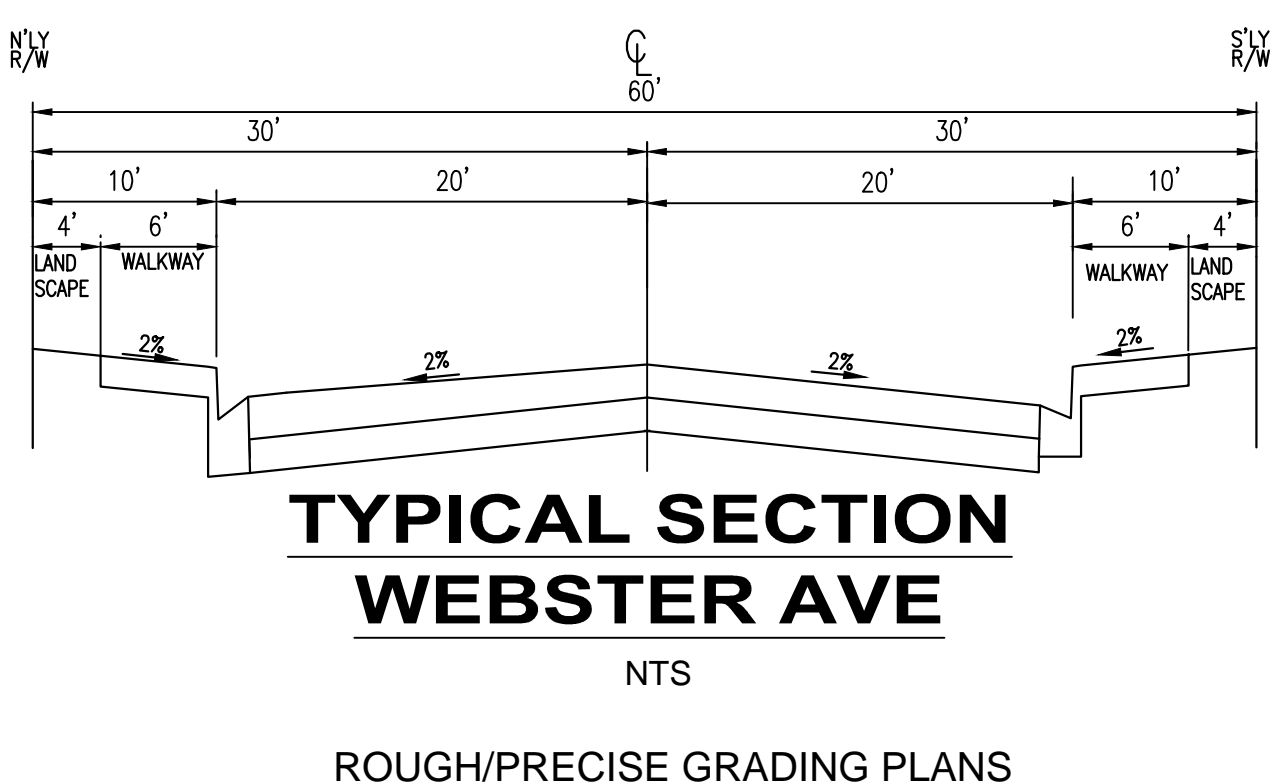
LEGAL DESCRIPTION
LOT 29 MB 015/090 EDGEMONT GARDENS
APN: 481-140-025

OWNER/ APPLICANT
CALCHOICE INVESTMENTS, INC
15345 FAIRFIELD RANCH #260,
CHINO HILLS, CA 91709
(909) 456-4564
CONTACT: JOEL MENDEZ

ARCHITECT
K.A. WANG & ASSOCIATES INC.
1940 DERRINGER LANE
DIAMOND BAR, CA91765
(626) 523-2000
CONTACT: ANDY WANG

SOIL ENGINEER
PACIFIC GEOTECH, INC
15038 CLARK AVE,
HACIENDA HEIGHTS, CA 91745
(626) 333-8507
Paul Kim, RGE 2066

CIVIL ENGINEER
PACIFIC GEOTECH, INC
15038 CLARK AVE,
HACIENDA HEIGHTS, CA 91745
(714) 723-9703
CONTACT: MAI PUKKANASUT
EMAIL: mai@pgisoil.com



ROUGH/PRECISE GRADING PLANS

EARTHWORK	QUANTITIES	
	CUT	FILL
ROUGH GRADING	600 CY	1,000CY
OVER-EXCAVATION WORK	---CY	---CY
REMEDIAL WORK	---CY	---CY
SHRINKAGE (15%)	---CY	150 CY
SUBTOTAL PROJECT EARTHWORK QUANTITIES	600CY	1,150CY
IMPORT MATERIAL		550 CY
EXPORT MATERIAL	---CY	
TOTAL PROJECT EARTHWORK QUANTITIES	600CY	1,150CY

MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE
		E.O.R.	REVISION			

PREPARED BY:
PACIFIC GEOTECH, INC
15038 CLARK AVE
HACIENDA HEIGHTS, CA 91745
TEL (714) 723-9703

CITY OF MORENO VALLEY

CONCEPTUAL GRADING PLAN
PA15-0031
FOR
SENIOR APARTMENT COMPLEX
24298 WEBSTER AVE

SHEET 1 OF 1
CITY ID No

CONCEPTUAL DRAINAGE MAP SENIOR APARTMENT COMPLEX

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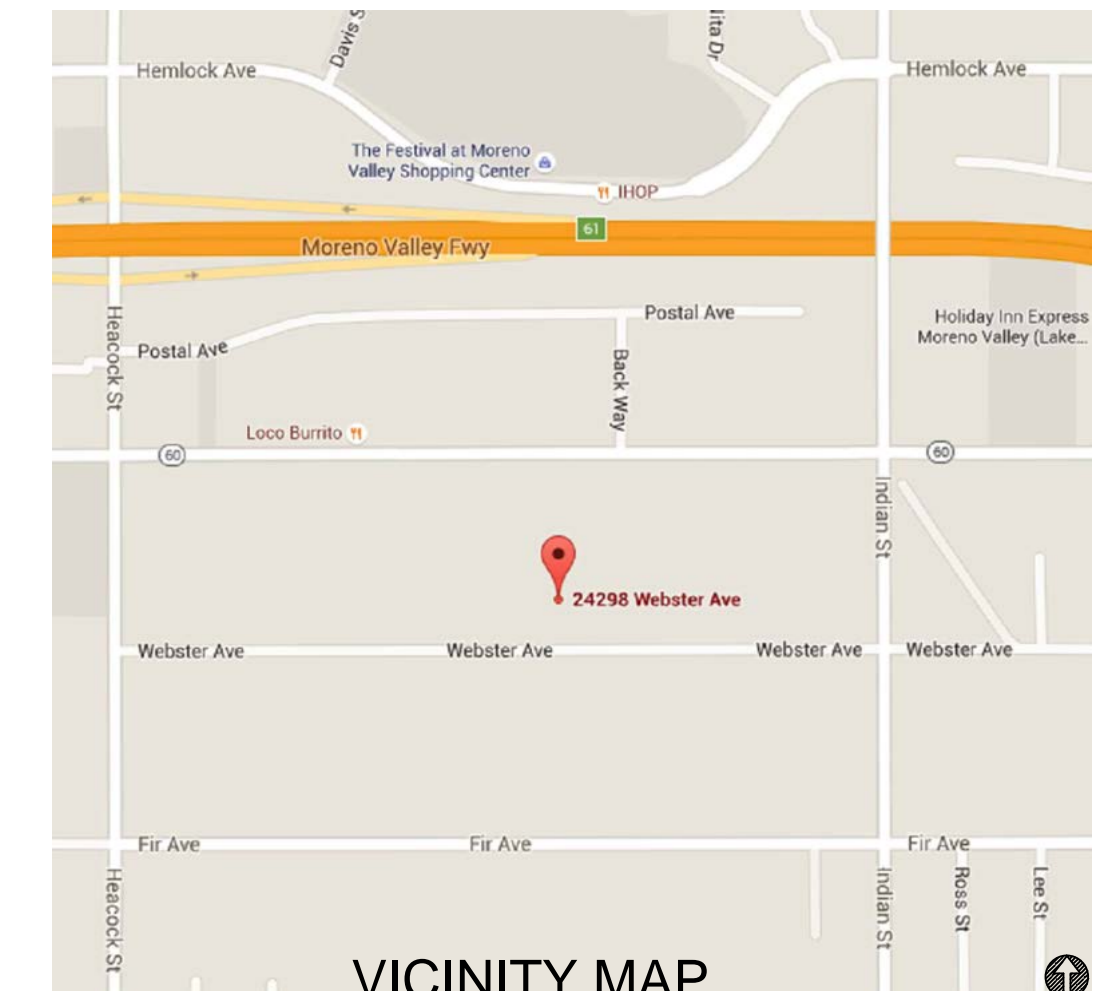
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CONSTRUCTION TYPE: V / A WITH FIRE SPRINKLER



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CONTACT: MAI PUKKANASUT
EMAIL: mai@pgisoil.com

ZONING:
ANNOTATION: SP204VOR
GENERAL LAND USE: OFFICE
AREA OF DISTURBANCE:
39,600 SF / 0.91 ACRES

FLOOD ZONE

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ABBREVIATION

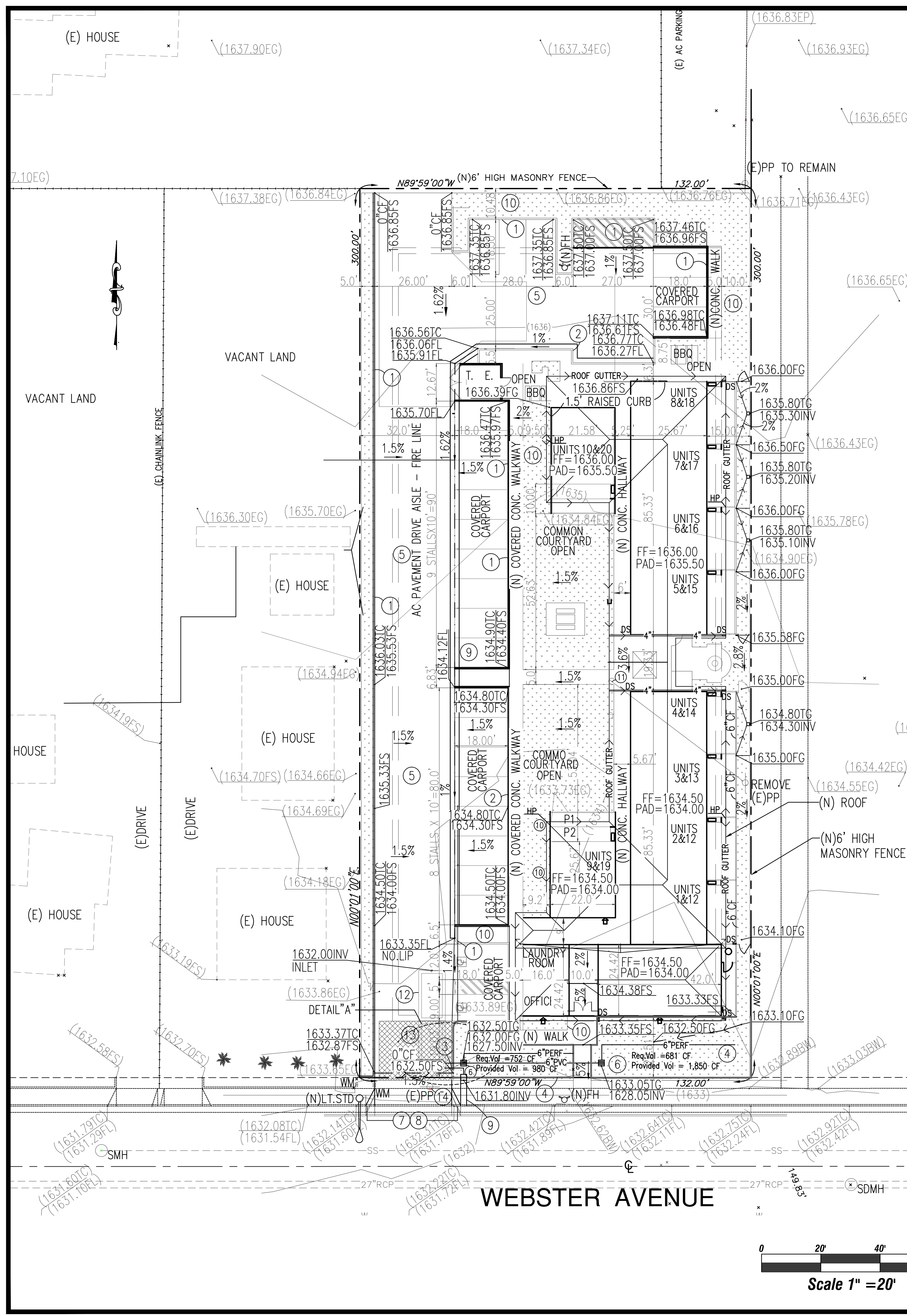
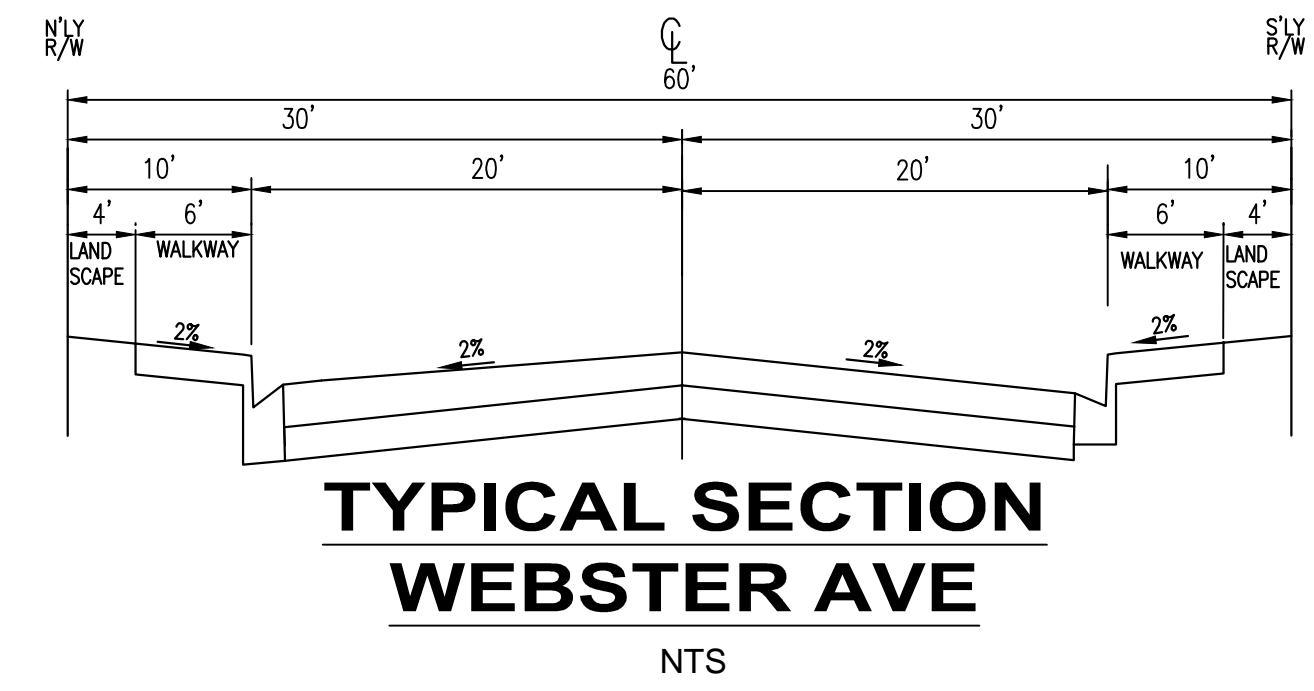
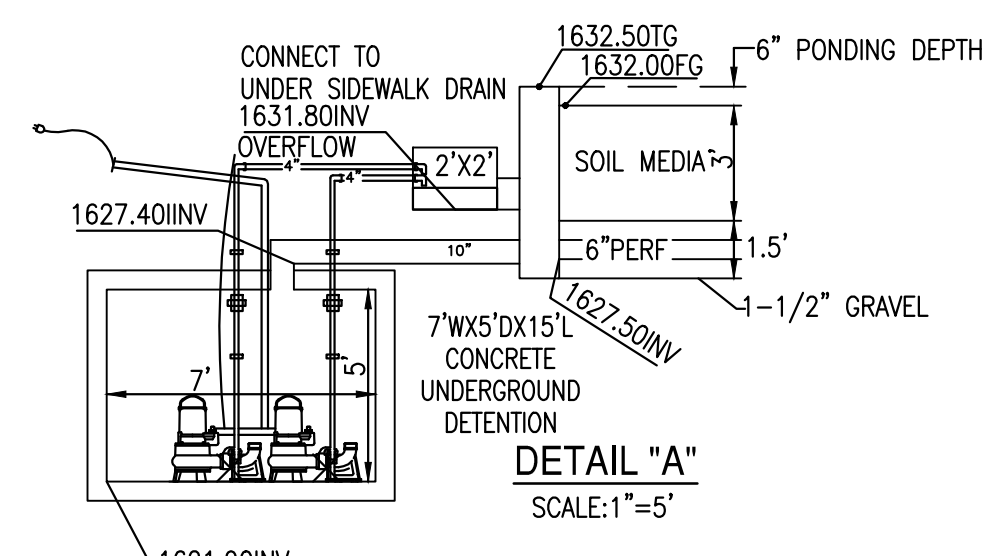
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RD	ROOF DRAIN		
CB	CATCH BASIN		

LEGEND

	CENTER LINE
	PROPERTY LINE
	CHAIN-LINK FENCE
	GAS LINE
	SEWER LINE
	WATER LINE
	CONC. WALL
	EXISTING LIGHT
	EXISTING STREET LIGHT
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	EXISTING WATER METER
	EXISTING SEWER MANHOLE
	POWER POLE
	GUY WIRE ANCHOR
	CATCH BASIN
	FIRE HYDRANT
	APARTMENTS - 20 UNITS - 2 STORIES 1- BEDROOM 548. 0 S.F. EACH
	COMMON OPEN AREA - 6,075 S.F., TOTAL
	OFFICE/REC. AREA - 1,429 S.F.
	TRASH ENCLOSURE
	LANDSCAPING AREA
	OUTSIDE LIGHTS MOUNTED ON BUILDING CONTROL BY TIMER

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- CONSTRUCT CURB & GUTTER
- CONSTRUCT 2" WIDE CURB OPENING
- CONSTRUCT BIO-RETENTION WITH UNDERDRAIN
- CONSTRUCT 4" AC/5" AB PER APPROVED SOILS REPORT
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- REMOVE EXISTING POWERPOLE
- 2" X 2" CONC. BOX CONNECT TO UNDER SIDEWALK DRAIN

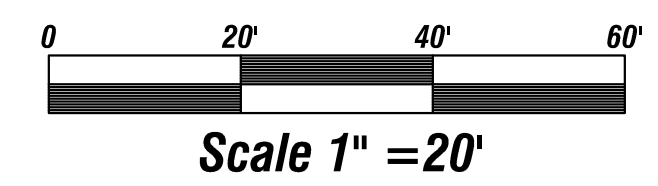


MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE
		E.O.R.	REVISION			

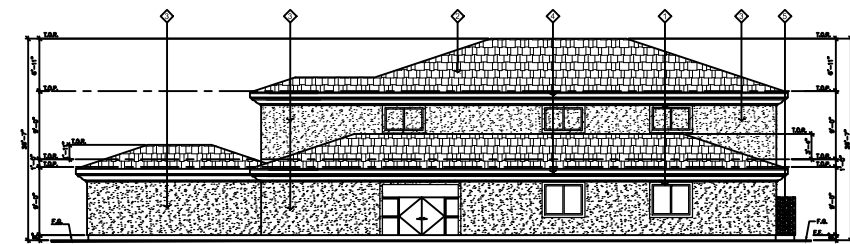
PREPARED BY:
PACIFIC GEOTECH, INC
15038 CLARK AVE
HACIENDA HEIGHTS, CA 91745
TEL (714) 723-9703

CITY OF MORENO VALLEY
PROPOSED DRAINAGE MAP
FOR
SENIOR APARTMENT COMPLEX
24298 WEBSTER AVE

SHEET 1 OF 1
CITY ID No

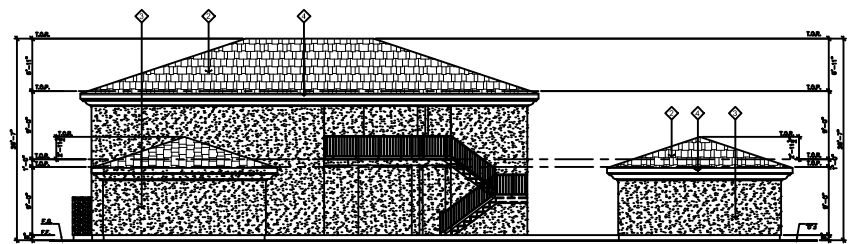


REVISIONS	BY
09-18-17	

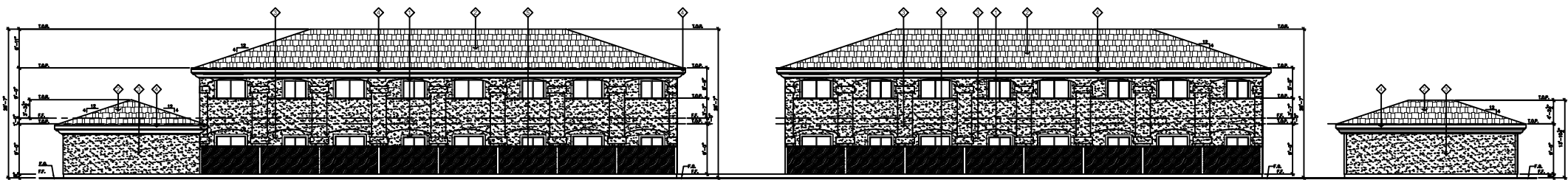


NORTH ELEVATION
SCALE: 3/32" = 1'-0"

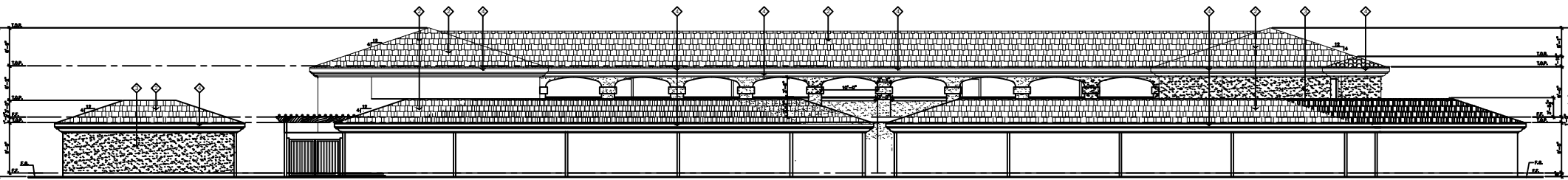
- EXTERIOR FINISHES LEGEND:
- ◇ MEDITERRANEAN STYLE BUILDING
 - ◇ VINYL LOW E GLASS (WHITE DOOR OR WINDOW FRAMES)
 - ◇ MONIER SUNRISE CONCRETE ROOF TILE (S TILE)
 - ◇ EXTERIOR STUCCO (COLOR-XSS, PURE IVORY) BY LA HABRA
 - ◇ TRIM COLOR - BROWN COLOR
 - ◇ WOOD FENCE



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"

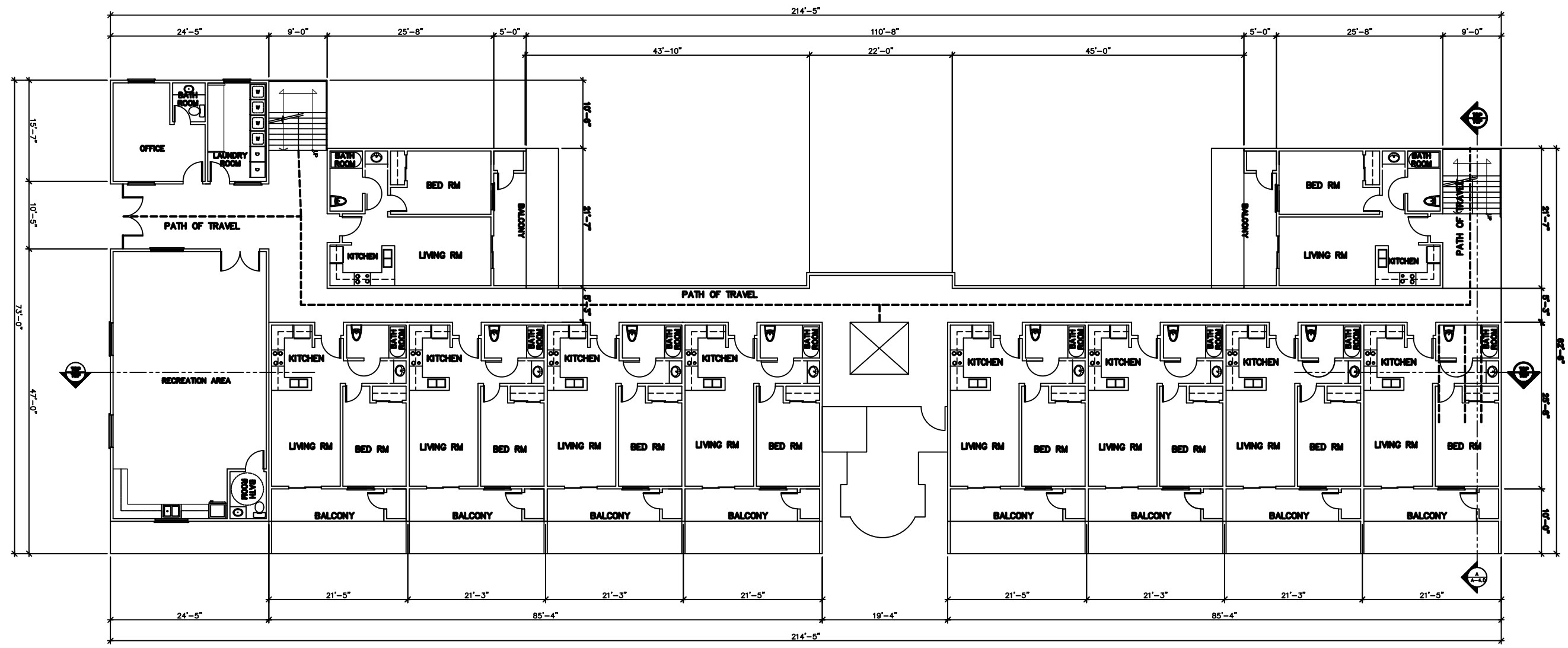
K. A. WANG & ASSOCIATES INC.
ARCHITECTURE, ENGINEERING & PLANNING
1040 DERRINGER LANE
DIAMOND BAR, CA 91765 U.S.A.
TELEPHONE: (626) 521-2000 FAX: (99) 274-7542

SITE PLAN

**SENIOR APARTMENTS
20 UNITS**

24298 WEBSTER AVE, MORENO VALLEY, CA 92553
JOB TITLE:
SCALE: 3/32" = 1'-0"
DRAWN BY: AW
DATE: 05-15-15
JOB NUMBER:
SHEET NO: A-6





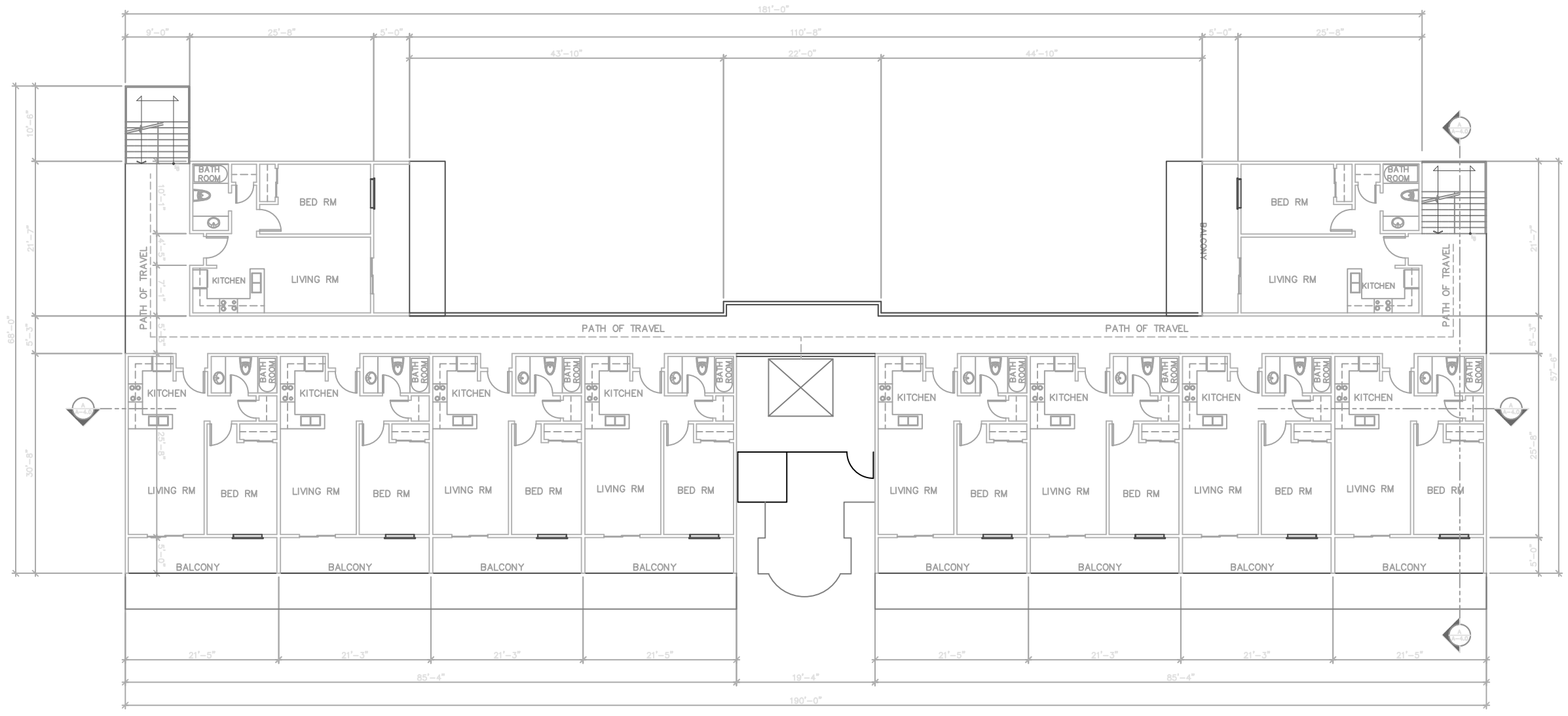
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FIRST FLOOR PLANS

FLOOR PLAN NOTES	
1	2x4 WALL
2	2x6 WALL
3	PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL). PROVIDE SMITTY PAN WITH DRAIN BELLOW WASHER
4	DRYER VENT TO OUTSIDE AIR PER U.M.C. SEC. 504.3
5	LAUNDRY SINK - VERIFY DIMENSIONS WITH MANUFACTURE SPECS.
6	5/8" TYPE 'X' GYPSUM BOARD ON CEILING AND WALLS AT USEABLE SPACE UNDER STAIRS
7	FIRE SEPARATION BETWEEN UNITS PROVIDE (1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD.

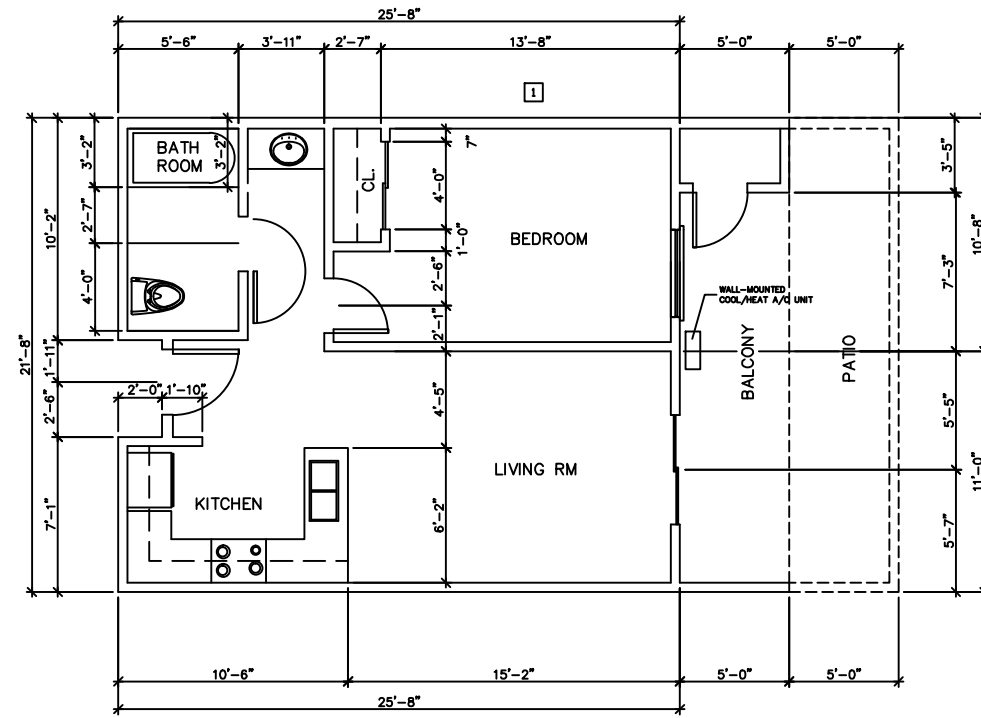
Attachment: First Floor Plan (3365 : Plot Plan for a 20-Unit Senior Apartment Complex on Webster Avenue)



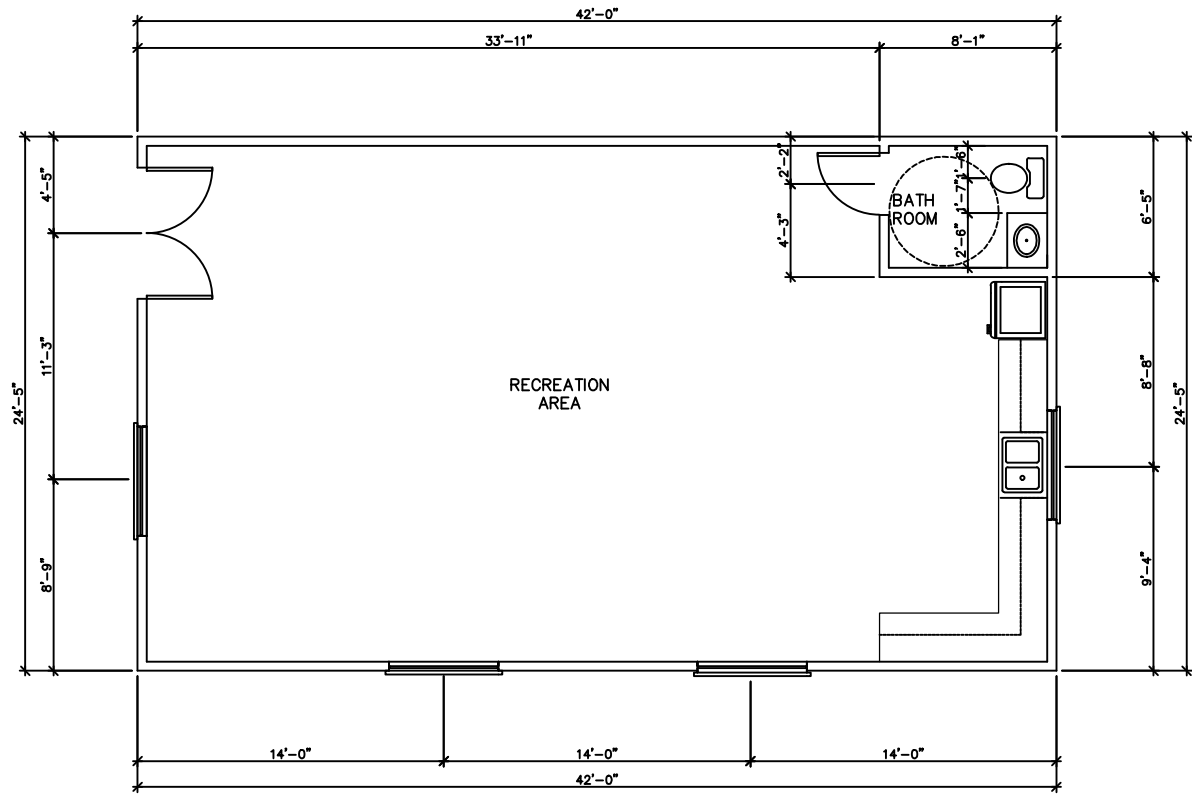
SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN

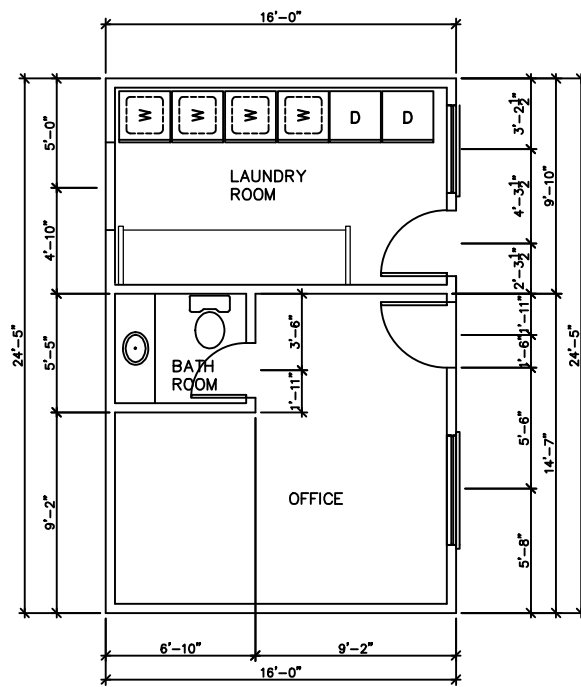
FLOOR PLAN NOTES	
1	2X4 WALL.
2	2X6 WALL.
3	PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL). PROVIDE SMITTY PAN WITH DRAIN BELLOW WASHER.
4	DRYER VENT TO OUTSIDE AIR PER U.M.C. SEC. 504.3
5	LAUNDRY SINK - VERIFY DIMENSIONS WITH MANUFACTURE SPEC'S.
6	5/8" TYPE "X" GYPSUM BOARD ON CEILING AND WALLS AT USEABLE SPACE UNDER STAIRS
7	FIRE SEPARATION BETWEEN UNITS PROVIDE (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD.



TYPICAL 2ND FLOOR PLAN UNIT
SCALE: 1/4" = 1'-0"

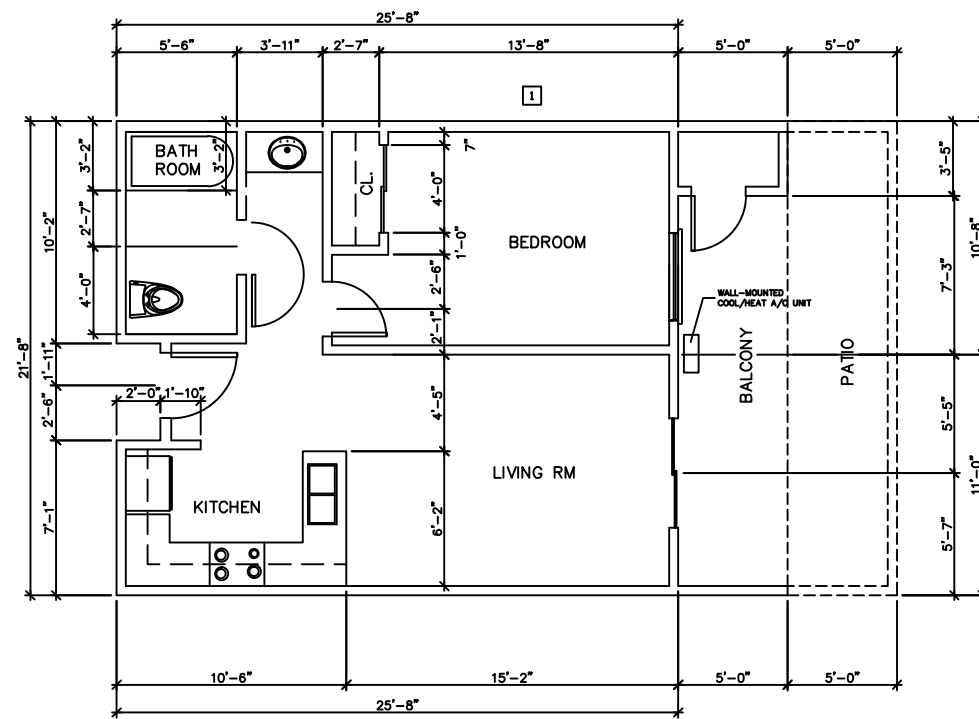


RECREATION AREA FLOOR PLAN
SCALE: 1/4" = 1'-0"



OFFICE & LAUNDRY ROOM
FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES	
1	2X4 WALL.
2	2X6 WALL.
3	PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL). PROVIDE SMITTY PAN WITH DRAIN BELLOW WASHER
4	DRYER VENT TO OUTSIDE AIR PER U.M.C. SEC. 504.3
5	LAUNDRY SINK - VERIFY DIMENSIONS WITH MANUFACTURE SPECS.
6	5/8" TYPE 'X' GYPSUM BOARD ON CEILING AND WALLS AT USEABLE SPACE UNDER STAIRS
7	FIRE SEPARATION BETWEEN UNITS PROVIDE (1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD.



TYPICAL GROUND FLOOR PLAN UNIT
SCALE: 1/4" = 1'-0"

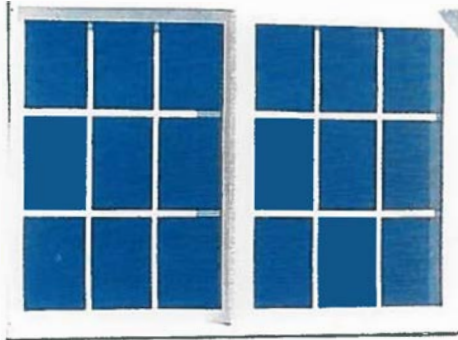
TYPICAL FLOOR PLANS

20 UNIT SENIOR APARTMENTS

COLOR BOARD

24298 WEBSTER A VE
MORENO VALLEY, CA 92553

1



VINYL, LOW E GLASS
(WHITE DOOR & WINDOW FRAMES)

2



MONIER SUNRISE CONCRETE
ROOF TILES (S TILE)

3



X-53 PURE IVORY (BASE 100)

EXTERIOR STUCCO BY LA HABRA
(COLOR-X53, PURE IVORY)

4



TRIM COLOR - BROWN COLOR

Attachment: Color Board (3365 : Plot Plan for a 20-Unit Senior Apartment Complex on Webster Avenue)



Attachment: Color Elevation [Revision 3] (3365 : Plot Plan for a 20-Unit Senior Apartment Complex on Webster Avenue)